



**Board of Adjustment
January 21, 2019 Meeting**

Staff Report

DATE: January 10, 2020
TO: Board of Adjustment
FROM: Ryan Lipp – Senior Planner
SUBJECT: Case# BOA-2020-02: 2580 Echerd Street Childcare Facility CUP
Request for a Conditional Use Permit to allow for a childcare facility in the RM-2 (Residential Medium Density) zoning district.

A. Actions Requested by Board of Adjustment

1. Motion to accept the City's exhibits into the record.
2. Motion to approve/revise Findings of Fact for the Conditional Use Permit.
3. Motion to approve (approve with conditions) (deny) the issuance of the Conditional Use Permit
4. Motion to Issue Order of Approval.

B. Required Votes to Pass Requested Action

A majority vote is required to approve, approve with conditions, or deny the requested actions.

C. Background

The applicant, Rama Gottumukkala, is requesting a Conditional Use Permit (CUP) to allow for a childcare facility in the RM-2 (Residential Medium Density) zoning district, located at 2580 Echerd Street, further identified as Rowan County Parcel Identification Number(s) 145 B050. Pursuant to Table 4.6-1 of the Unified Development Ordinance (UDO), a CUP is required to allow for childcare facilities in the RM-2 zoning district. The subject property is approximately 1.03 +/- total acres.

D. Fiscal Considerations

None

E. Policy Issues

Article 3.5 of the UDO requires that the Board of Adjustment shall only approve a conditional use permit if the applicant demonstrates that the criteria below have been met. Staff analysis of each criterion is noted.

Staff Findings of Fact - Based on application review

Yes No

 The proposed conditional use will be in harmony with the area in which it is to be located and in general conformance with the City's Land Use Plan.

The subject property is within the "Complete Neighborhood 1" Character Area as designated on the Future Land Use and Character Map in the *Move Kannapolis Forward 2030 Comprehensive Plan*. The Complete Neighborhood 1 Character Area allows for civic uses as a primary use. It also recognizes opportunities for neighborhood-serving walkable commercial and civic uses.

The proposed use is compatible with the character intent of the Complete Neighborhood 1 Character Area, as well as, complementary to the existing single-family homes and surrounding area.

 Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

The site previously functioned as a church, providing adequate ingress and egress to the site, as well as, parking. The site takes access off Echerd St and there should be minimal traffic impact.

 The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

No vibration, odor, dust, smoke or gas is expected. No noise beyond typical community recreation uses is anticipated.

 The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The improvement of surrounding property would not be impeded by the development of the subject property.

 The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

There is no apparent danger or detriment to the overall public safety, health and welfare resulting from the proposed uses. The proposed development is subject to all the requirements of the Unified Development Ordinance.

 Compliance with any other applicable Sections of this Ordinance.

The proposed use shall comply with all sections of the City of Kannapolis Unified Development Ordinance, conditions of approval, and any other applicable local, state and federal regulations. It is understood by the applicant that unless specifically relieved of a requirement, in writing, all UDO requirements, including compliance with the Technical

Review Committee site plan review and approval process, must be met. Furthermore, the applicant is required to meet all state, county and any other regulations for the operation of a childcare facility.

F. Legal Issues

Board's Findings of Fact - Based on application review and public hearing.

In order to determine whether a conditional use permit is warranted, the Board must decide that each of the six findings as outlined below has been met and that the additional approval criteria has been satisfactorily addressed. If the Board concurs completely with the findings of the staff, no additional findings of fact are necessary and the staff findings should be approved as part of the decision. However, if the Board wishes to approve different findings (perhaps as a result of additional evidence or testimony presented at the public hearing), alternate findings need to be included as part of the six criteria below. Should a conditional use permit be approved, the Board may place conditions on the use as part of the approval to assure that adequate mitigation measures are associated with the use.

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | The proposed conditional use will be in harmony with the area in which it is to be located and in general conformance with the City's Land Use Plan.

_____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

_____ |
| <input type="checkbox"/> | <input type="checkbox"/> | The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

_____ |
| <input type="checkbox"/> | <input type="checkbox"/> | The establishment of the proposed use will not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

_____ |
| <input type="checkbox"/> | <input type="checkbox"/> | The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

_____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Compliance with any other applicable Sections of this Ordinance.

_____ |

G. Recommendation

Based on the above findings, staff recommends **approval with conditions** of the Conditional Use Permit based on the staff Findings of Fact (or as modified by the Board), the conceptual site plan, and compliance with all local, state and federal requirements.

Conditions of Approval proposed by staff:

1. The site shall be re-stripped and paved, complying with ADA requirements, and clearly marked to ensure one directional flow through the site as depicted on the site concept plan.
2. The site concept plan is illustrative. Final design of the project, as reviewed by staff, shall be subject to meeting all city standards.

The Board of Adjustment should consider all facts and testimony after conducting the Public Hearing and render a decision accordingly to approve, approve with conditions, or deny the Conditional Use Permit.

H. Attachments

1. Conditional Use Permit Application
2. Vicinity Map
3. Zoning Map
4. 2030 Future Land Use Map
5. Site Plan
6. List of notified properties
7. Notice to Adjacent Property Owners
8. Posted Public Notice

I. Issue Reviewed By:

City Attorney	X
Planning Director	X
City Engineer	X
City Manager	X

unc date
Dec. 23

\$625.⁰⁰/_{Fee}



Planning and Zoning Commission and Board of Adjustment
General Application Form
(Not for Site Plan Review Submittals)

Type of Action Requested (Check One):

- | | | | |
|------------------------|-------------------------------------|----------------------------------|--------------------------|
| Variance | <input type="checkbox"/> | SIA Application | <input type="checkbox"/> |
| Conditional Use Permit | <input checked="" type="checkbox"/> | Nonconformity Adjustment | <input type="checkbox"/> |
| Subdivision Exception | <input type="checkbox"/> | Watershed Boundary Modification | <input type="checkbox"/> |
| Zoning Text Amendment | <input type="checkbox"/> | Zoning Map Amendment | <input type="checkbox"/> |
| Appeal | <input type="checkbox"/> | Conditional Zoning Map Amendment | <input type="checkbox"/> |

Applicant: RAMA GOTTUMUKKALA Owner: NV REALTY LLC
 Address: 4873 Annelise Dr Address: 4873 Annelise Dr
HARRISBURG, NC 28075 HARRISBURG, NC 28075
 Telephone: 704-907-4813 Telephone: 704-907-4813
 Email: NVrealityllc@yahoo.com Email: NVrealityllc@yahoo.com

Legal relationship of applicant to property owner: Member-Manager

Property Location/Address: 2580 ECHERD ST, KANNAPOLIS

Tax Parcel Number: 145B050 Zoning District: _____ Acreage of Site: 1.03 Ac

<u>RAMA GOTTUMUKKALA</u>	<u>NV REALTY LLC</u>
Applicant Name (Print)	Property Owner Name (Print)
<u>[Signature]</u> <u>12/15/19</u>	<u>[Signature]</u> <u>12/15/19</u>
Applicant Signature & Date	Property Owner Signature & Date

The agenda deadline is the first day of the month preceding the month of the meeting. To be considered for placement on the next meeting agenda, the signed application, application fee, and five (5) copies of any required site plans for staff review must be submitted by the deadline. However, to remain on the next meeting agenda, fifteen (15) copies of such plans, determined by staff to conform to all ordinance standards, must be submitted at least ten (10) days before the meeting date. All fees are nonrefundable and help to cover administrative and notification costs.

For Staff Use Only:

Filing Fee: \$625.00 + newspaper fee TBD Receipt # M-11281
 Application No.: BOA-2020-02 Date Submitted (Complete): 12/19/2019



CITY OF KANNAPOLIS PLANNING DEPARTMENT

CONDITIONAL USE PERMIT APPLICATION

I, RAMA GOTTUMUKKALA, hereby petition the Board of Adjustment for a Conditional Use Permit as required by Table 4.6-1 of the Unified Development Ordinance for the following proposed property use: CHILDCARE FACILITY

The location of the above-mentioned proposed use is indicated on the accompanying site plan, and the nature of the proposed use is more fully described as follows:

child care facility initially with an occupancy of 30 to 45 kids and later up to 50 to 60 kids as determined by the NC Division of child development.

APPROVAL CRITERIA

The Board of Adjustment does not have unlimited discretion in deciding whether to approve a conditional use permit. The Unified Development Ordinance requires that the applicant demonstrate successful compliance with several conditions to obtain a conditional use permit. In the spaces provided below, indicate the *facts* that you intend to provide to convince the Board that it can properly reach the following required conclusions:

A. The proposed conditional use conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures and the type and extent of landscaping and screening on the site.

we believe the location building is suitable for child care facility which has approx 6100 sq. ft with more than 8 ft ceilings and enough bathrooms. The lot is fenced.

B. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize the traffic congestion on the public roads.

The property has enough space for entering and exiting without traffic congestion on the public roads.

C. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Since the building is used for childcare facility we do not anticipate noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

D. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

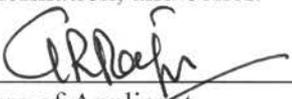
Since it is an existing building we do not see any problem that shall impede the orderly development and improvement of surroundings.

E. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

we do not see any reason which will endanger the public health, safety or general welfare

F. Compliance with any other applicable Sections of this Ordinance.

I certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.


Signature of Applicant

12/5/2019
Date

The Board may place conditions on the use requested as part of the approval to assure that adequate mitigation measures are associated with the use.

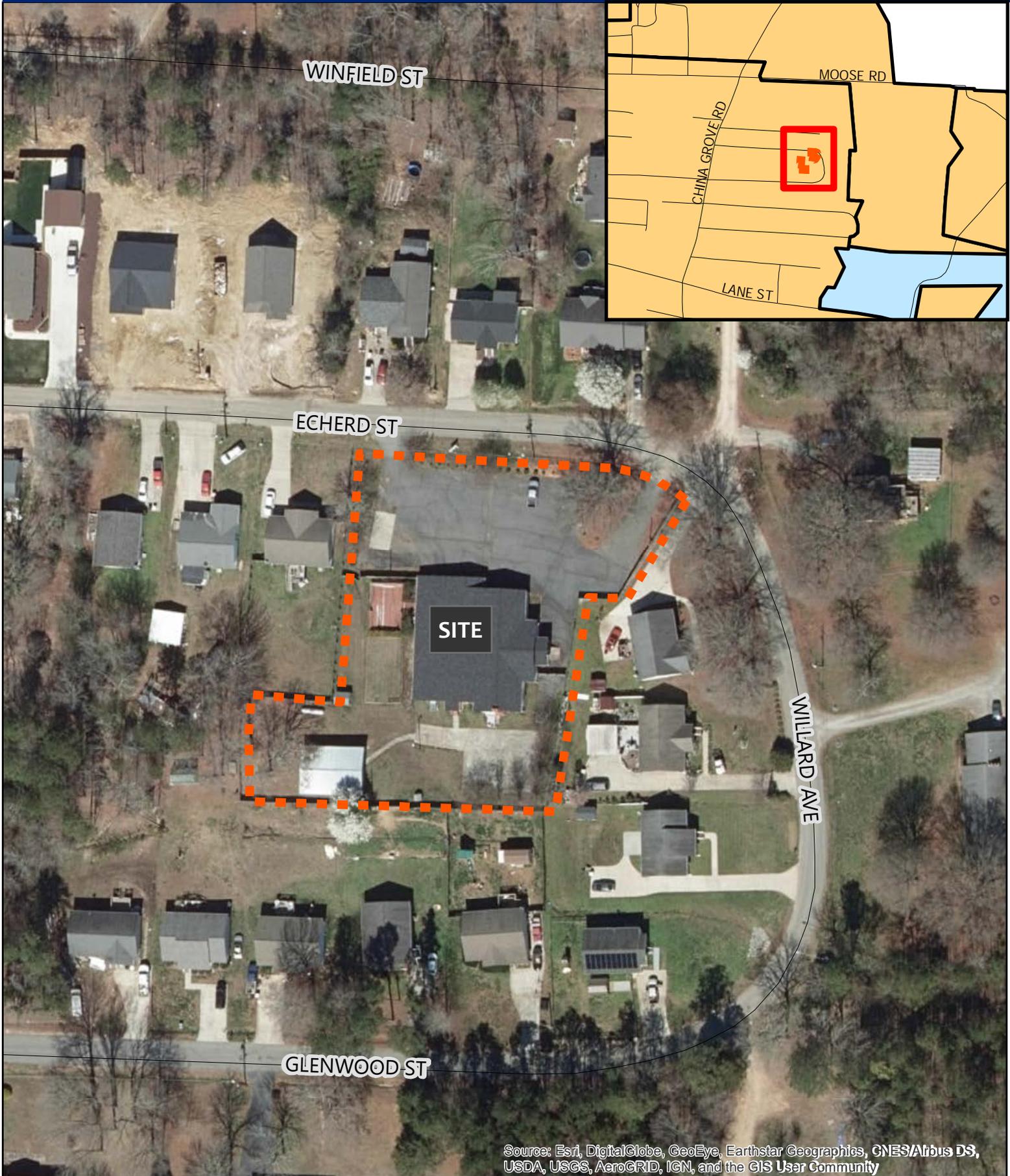
Required as part of Conditional Use Permit Submittal:

- Fee: Please refer to fee schedule to determine applicable fees.
Fees are nonrefundable and help to cover administrative and notification costs.
- Site plan in conformance with criteria listed in Appendix B.4.
- Tax cards for all adjacent property owners



Vicinity Map

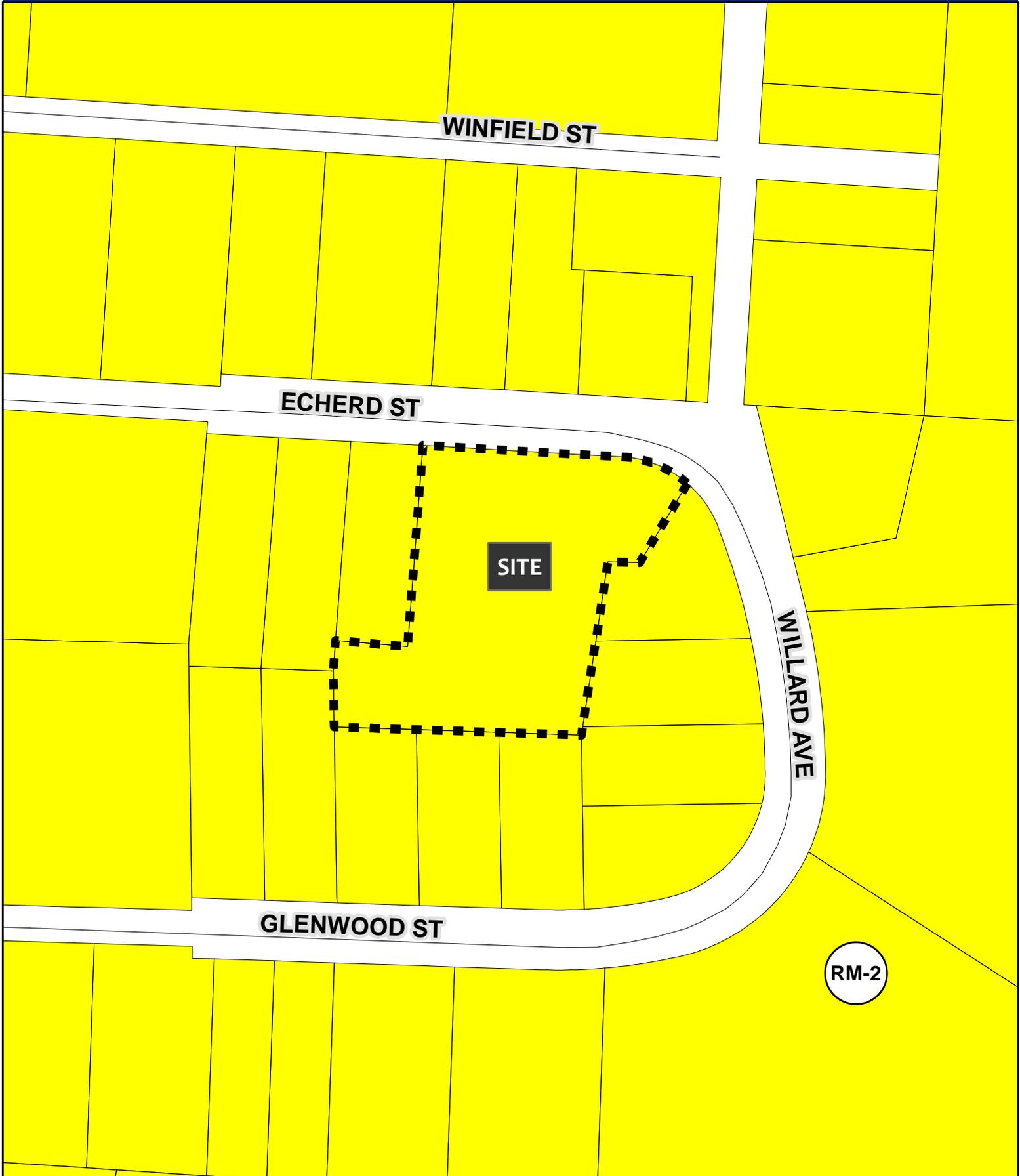
Case Number: BOA-2020-02
Applicant: Rama Gottumukkala
2580 Echerd St.





Kannapolis Current Zoning

Case Number: BOA-2020-02
Applicant: Rama Gottumukkala
2580 Echerd St.





Kannapolis 2030 Future Land Use Map

Case Number: BOA-2020-02

Applicant: Rama Gottumukkala

2580 Echerd St.



SITE PLAN 2011-938 41661

2580 ECHERD ST
KANNAH POLIS, NC 28083



PROPERTY OWNER	STREET	CITY	STATE	ZIP
WILLIAM III & MELLENA HELMS	2550 ECHERD ST	KANNAPOLIS	NC	28083
HOYT WYRICK JR	11500 OLD CONCORD RD	ROCKWELL	NC	28138
AJAJ LAND INVESTMENTS LLC	3481 BRIGHTON CT NW	CONCORD	NC	28027
ROBERT & PATRICIA SCALES	2562 ECHERD ST	KANNAPOLIS	NC	28083
2017-2 IH BORROWER LP C/O INVITATION HOMES	1717 MAIN ST STE 2000	DALLAS	TX	75201
LUIS RAMIREZ \$				
MARICRUZ ESTRELLA-MEJA	2801 IRETON PL	KANNAPOLIS	NC	28083
JOHN & AMANDA ROSS	2527 GLENWOOD ST	KANNAPOLIS	NC	28083
RONALD & ALBA PORTILLO	2535 GLENWOOD ST	KANNAPOLIS	NC	28083
MNSF II W1 LLC	6836 MORRISON BLVD STE 320	CHARLOTTE	NC	28211
BENJAMIN & ASHLEY GAUCHER	2567 GLENWOOD ST	KANNAPOLIS	NC	28083
JEREMY & ANGELICA ALDRIDGE	2551 GLENWOOD ST	KANNAPOLIS	NC	28083
TAMMI KNOX	905 WILLARD AVE	KANNAPOLIS	NC	28083
JAMES & PATRICIA MASON	909 WILLARD AVE	KANNAPOLIS	NC	28083
TIMOTHY VANPAY	913 WILLARD AVE	KANNAPOLIS	NC	28083
TYLER MORTON & ROSEMARY RICE	2549 ECHERD ST	KANNAPOLIS	NC	28083
JAMES CARNES	2561 ECHERD ST	KANNAPOLIS	NC	28083
ROBERT & THELMA HART	2575 ECHERD ST	KANNAPOLIS	NC	28083
AUDRY TUCKER	2583 ECHERD ST	KANNAPOLIS	NC	28083
PATRICIA NELSON	2589 ECHERD ST	KANNAPOLIS	NC	28083
KENDAL SHUE	2591 ECHERD ST	KANNAPOLIS	NC	28083
GABRIAL BENITEZ	2593 ECHERD ST	KANNAPOLIS	NC	28083
D & E LIMITED LLC	3140 CHELWOOD DR	CONCORD	NC	28027
KELLY IRVIN	910 WILLARD AVE	KANNAPOLIS	NC	28083
KELLY IRVIN	2307 MOOSE RD	KANNAPOLIS	NC	28083
DOUGLAS & CANDY LINKER	906 WILLARD AVE	KANNAPOLIS	NC	28083
LINDA EARLEY	908 WILLARD AVE	KANNAPOLIS	NC	28083
NAVONIA DIXON	2540 GLENWOOD ST	KANNAPOLIS	NC	28083
SANDRA MCCURDY & HOYT WYRICK	460 NORMANDY RD	MOORESVILLE	NC	28117
NV REALTY LLC	4873 ANNELISE DR	HARRISBURG	NC	28075
RAMA GOTTUMUKKALA	4873 ANNELISE DR	HARRISBURG	NC	28075



December 31, 2019

Dear Property Owner,

Please be advised that the City of Kannapolis Board of Adjustment will conduct a quasi-judicial public hearing on Tuesday, January 21, 2019 at 6:00 PM at City Hall, located at 401 Laureate Way, for the following case:

BOA-2020-02 – Conditional Use Permit (CUP) – 2580 Echerd Street Childcare Facility

This public hearing is to consider a request for a Conditional Use Permit (CUP) to allow a childcare facility. Pursuant to Table 4.6-1 of the Unified Development Ordinance (UDO), a CUP is required to allow a childcare facility in the RM-2 (Residential Medium Density) zoning district. The subject property is located at 2580 Echerd Street and is approximately 1.03 +/- acres, further identified as Rowan County Parcel Identification Number(s) 145B-050. **(Please see reverse side of this letter for vicinity map showing the location of this property).**

As an adjacent property owner, you are being notified of this public hearing in accordance with the requirements of the Kannapolis UDO; and are invited to attend the public hearing and present testimony, should you desire, to the Board of Adjustment.

Should you have any questions about the public hearing or request, please do not hesitate to call the Planning Department at 704.920.4350

Sincerely,

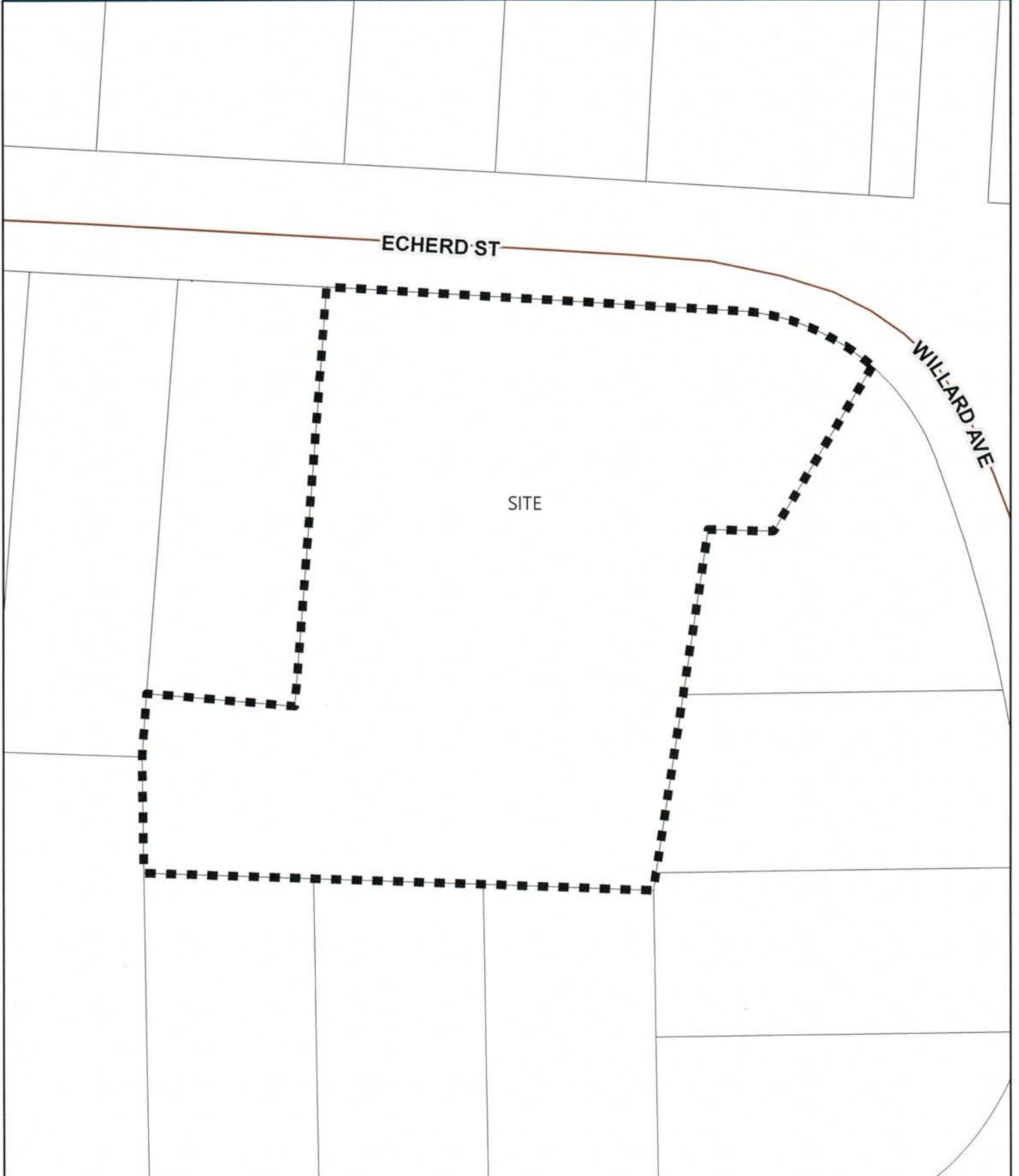
Ryan Lipp
Senior Planner

The meeting is accessible to people with disabilities. To request special accommodation in advance, contact the City's ADA Coordinator at 704-920.4302.



Rezoning

Case Number: BOA-2020-02
Applicant: Rama Gottumukkala
2580 Echerd St






KANNAPOLIS
BOARD OF
ADJUSTMENT
PUBLIC HEARING
INFORMATION
CALL 704-920-4350
CASE # **BOA-2020-02**



ARROSI
EACHERD ST





**Board of Adjustment
February 18, 2020 Meeting**

Staff Report

TO: Board of Adjustment
FROM: Ryan Lipp – Senior Planner
SUBJECT: Case# BOA-2020-03: 911 W C Street
Conditional Use Permit (CUP)
Applicant: Kevin Brown

Request for a Conditional Use Permit to allow construction of a 3-unit townhome in the Neighborhood Commercial (B-1) zoning district.

A. Actions Requested by Board of Adjustment

1. Motion to accept the City's exhibits into the record.
2. Motion to approve/revise Findings of Fact for the Conditional Use Permit.
3. Motion to approve (approve with conditions) (deny) the issuance of the Conditional Use Permit
4. Motion to Issue Order of Approval.

B. Required Votes to Pass Requested Action

A majority vote is required to approve, approve with conditions, or deny the requested actions.

C. Background

The applicant, Kevin Brown, is requesting a Conditional Use Permit (CUP) to allow construction of a 3-unit townhome in the B-1 (Neighborhood Commercial) zoning district, located at 911 W C St., further identified as Cabarrus County Parcel Identification Number 5614-11-9950. Pursuant to Table 4.6-1 of the Unified Development Ordinance (UDO), a CUP is required to allow for single-family attached in the B-1 zoning district. The subject property is approximately .41 +/- total acres.

D. Fiscal Considerations

None

E. Policy Issues

Article 3.5 of the UDO requires that the Board of Adjustment shall only approve a conditional use permit if the applicant demonstrates that the criteria below have been met. Staff analysis of each criterion is noted.

Staff Findings of Fact - Based on application review

Yes No

 The proposed conditional use will be in harmony with the area in which it is to be located and in general conformance with the City's Land Use Plan.

The subject property is within the "Urban Corridor" Character Area as designated on the Future Land Use and Character Map in the *Move Kannapolis Forward 2030 Comprehensive Plan*. The Urban Corridor Character Area allows for retail, office and multifamily residential uses as a primary use.

The proposed use is compatible with the character intent of the Urban Corridor Character Area, as well as, complementary to the existing single-family homes and commercial uses in the surrounding area.

 Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

The site will take direct access off W C Street. Per the attached plans, the interior of the site will have adequate parking and movement through the site will be maintained.

 The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

No vibration, noise, odor, dust, smoke or gas is expected.

 The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The improvement of surrounding property would not be impeded by the development of the subject property.

 The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

There is no apparent danger or detriment to the overall public safety, health and welfare resulting from the proposed use. The proposed development is subject to all the requirements of the Unified Development Ordinance.

 Compliance with any other applicable Sections of this Ordinance.

The proposed use shall comply with all sections of the City of Kannapolis Unified Development Ordinance, conditions of approval, and any other applicable local, state and federal regulations. It is understood by the applicant that unless specifically relieved of a requirement, in writing, all UDO requirements, including compliance with the Technical Review Committee site plan review and approval process, must be met.

F. Legal Issues

Board's Findings of Fact - Based on application review and public hearing.

In order to determine whether a conditional use permit is warranted, the Board must decide that each of the six findings as outlined below has been met and that the additional approval criteria has been satisfactorily addressed. If the Board concurs completely with the findings of the staff, no additional findings of fact are necessary and the staff findings should be approved as part of the decision. However, if the Board wishes to approve different findings (perhaps as a result of additional evidence or testimony presented at the public hearing), alternate findings need to be included as part of the six criteria below. Should a conditional use permit be approved, the Board may place conditions on the use as part of the approval to assure that adequate mitigation measures are associated with the use.

Yes

No

The proposed conditional use will be in harmony with the area in which it is to be located and in general conformance with the City's Land Use Plan.

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

The establishment of the proposed use will not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

Compliance with any other applicable Sections of this Ordinance.

G. Recommendation

Based on the above findings, staff recommends **approval with conditions** of the Conditional Use Permit based on the staff Findings of Fact (or as modified by the Board), the conceptual site plan, and compliance with all local, state and federal requirements.

Conditions of Approval proposed by staff:

1. The site concept plan and elevations are illustrative. Final design of the project, as reviewed by staff, shall be subject to meeting all city standards.

The Board of Adjustment should consider all facts and testimony after conducting the Public Hearing and render a decision accordingly to approve, approve with conditions, or deny the Conditional Use Permit.

H. Attachments

1. Conditional Use Permit Application
2. Vicinity Map
3. Zoning Map
4. 2030 Future Land Use Map
5. Site Plan
6. Elevations
7. List of notified properties
8. Notice to Adjacent Property Owners
9. Posted Public Notice

I. Issue Reviewed By:

City Attorney	X
Planning Director	X
City Engineer	X
City Manager	X



**Planning and Zoning Commission and Board of Adjustment
General Application Form
(Not for Site Plan Review Submittals)**

Type of Action Requested (Check One):

- | | | | |
|------------------------|-------------------------------------|----------------------------------|-------|
| Variance | _____ | SIA Application | _____ |
| Conditional Use Permit | <input checked="" type="checkbox"/> | Nonconformity Adjustment | _____ |
| Subdivision Exception | _____ | Watershed Boundary Modification | _____ |
| Zoning Text Amendment | _____ | Zoning Map Amendment | _____ |
| Appeal | _____ | Conditional Zoning Map Amendment | _____ |

Applicant: **Kevin Brown** Owner: **NC C St OZ Fund LLC**
 Address: **3111 Cramer Pond Dr** Address: **3111 Cramer Pond Dr**
Charlotte, NC 28205 **Charlotte, NC 28205**
 Telephone: **704-648-8247** Telephone: **704-648-8247**
 Email: **kbrown150@gmail.com** Email: **kbrown150@gmail.com**

Legal relationship of applicant to property owner: **Manager**
 Property Location/Address: **911 W C St, Kannapolis**

Tax Parcel Number: _____ Zoning District: _____ Acreage of Site: _____
Kevin Brown **NC C St OZ Fund LLC**
 Applicant Name (Print) Property Owner Name (Print)
 **1/20/20**  **1/20/20**
 Applicant Signature & Date Property Owner Signature & Date

The agenda deadline is the first day of the month preceding the month of the meeting. To be considered for placement on the next meeting agenda, the signed application, application fee, and five (5) copies of any required site plans for staff review must be submitted by the deadline. However, to remain on the next meeting agenda, fifteen (15) copies of such plans, determined by staff to conform to all ordinance standards, must be submitted at least ten (10) days before the meeting date. All fees are nonrefundable and help to cover administrative and notification costs.

For Staff Use Only:
 Filing Fee: _____ Receipt # _____
 Application No.: _____ Date Submitted (Complete): _____



CITY OF KANNAPOLIS PLANNING DEPARTMENT

CONDITIONAL USE PERMIT APPLICATION

I, **Kevin Brown**, hereby petition the Board of Adjustment for a Conditional Use Permit as required by Table 4.6-1 of the Unified Development Ordinance for the following proposed property use: **3 unit townhome**.

The location of the above-mentioned proposed use is indicated on the accompanying site plan, and the nature of the proposed use is more fully described as follows:

3 Attached Townhomes

APPROVAL CRITERIA

The Board of Adjustment does not have unlimited discretion in deciding whether to approve a conditional use permit. The Unified Development Ordinance requires that the applicant demonstrate successful compliance with several conditions to obtain a conditional use permit. In the spaces provided below, indicate the *facts* that you intend to provide to convince the Board that it can properly reach the following required conclusions:

A. The proposed conditional use conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures and the type and extent of landscaping and screening on the site.

B. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize the traffic congestion on the public roads.

C. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

D. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

E. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

F. Compliance with any other applicable Sections of this Ordinance.

I certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.



Signature of Applicant

1/20/20

Date

The Board may place conditions on the use requested as part of the approval to assure that adequate mitigation measures are associated with the use.

Required as part of Conditional Use Permit Submittal:

- ☞ Fee: Please refer to fee schedule to determine applicable fees.
Fees are nonrefundable and help to cover administrative and notification costs.
- ☞ Site plan in conformance with criteria listed in Appendix B.4.
- ☞ Tax cards for all adjacent property owners

STAFF USE ONLY

Scheduled meeting date: _____

Dates advertised in newspaper: _____ and _____

Date written notices mailed: _____

Date sign posted: _____

Board Decision: _____

Conditions: _____

Date written notice of Board decision sent to applicant: _____

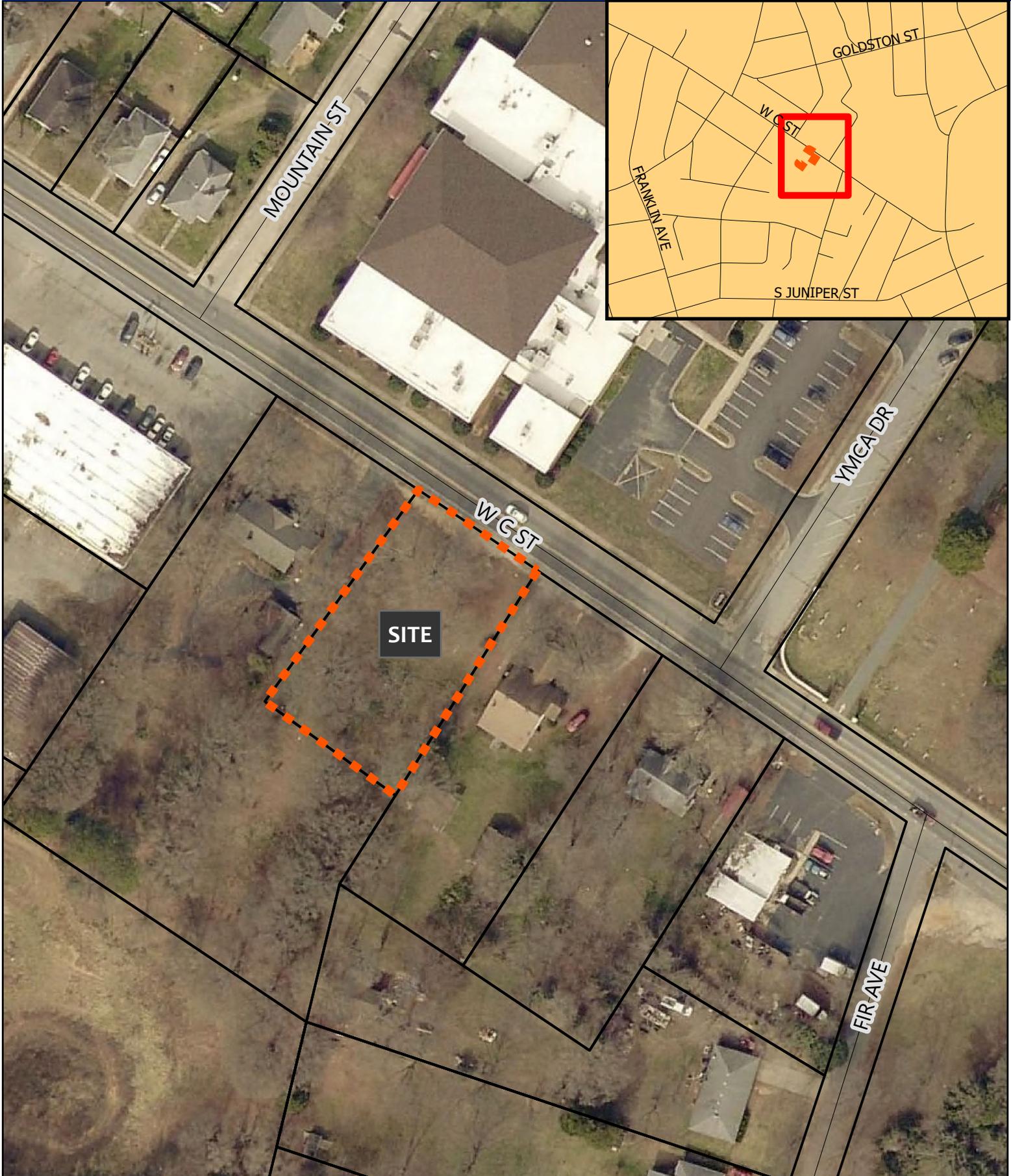


Vicinity Map

Case Number: BOA-2020-03

Applicant: Kevin Brown

911 W C St.





Kannapolis Current Zoning

Case Number: BOA-2019-05
Long Ridge Development
Vance St.





Kannapolis 2030 Future Land Use Map

Case Number: BOA-2020-03

Applicant: Kevin Brown

911 W C St.

N



PRIVATE
RESIDENCE
TOWN HOMES

911 WEST C STREET
KANNAPOLIS
NORTH CAROLINA
28081

SHEET INDEX

COVER	SITE PLAN
A0	GENERAL NOTES
A0.1	NOT INCLUDED
A0.2	NOT INCLUDED
A0.3	NOT INCLUDED
A1.0	FOOTING-FOUNDATION PLAN
A1.1	NOT INCLUDED
A1.2	NOT INCLUDED
A2.0	FIRST FLOOR PLAN
A2.1	NOT INCLUDED
A2.2	NOT INCLUDED
A3.0	SECOND FLOOR PLAN
A3.1	NOT INCLUDED
A3.2	NOT INCLUDED
A4.0	NOT INCLUDED
A4.1	NOT INCLUDED
A4.2	NOT INCLUDED
A5.0	ROOF PLAN
A5.1	NOT INCLUDED
A6.0	EXTERIOR ELEVATIONS
A6.1	EXTERIOR ELEVATIONS
A6.2	NOT INCLUDED
A6.3	NOT INCLUDED
A6.4	NOT INCLUDED
A6.5	NOT INCLUDED
A6.6	NOT INCLUDED
A6.7	NOT INCLUDED
A7.0	NOT INCLUDED
A8.0	NOT INCLUDED
A9.0	WALL SECTION DETAILS
A9.1	STARWAY SECTION DETAILS
A9.2	NOT INCLUDED
A9.3	NOT INCLUDED
A9.4	NOT INCLUDED
A9.5	NOT INCLUDED
A9.6	NOT INCLUDED
A9.7	NOT INCLUDED
STRUCTURAL ENGINEERING BY OTHERS	

AREA CALCULATIONS

UNITS A + C

HEATED SQUARE FOOTAGE	
MAIN LEVEL LIVING	906.91
UPPER LEVEL LIVING	122.71
TOTAL HSF	2029.62
UNHEATED SQUARE FOOTAGE	
GARAGE AREA	571.28
STORAGE AREA	0.00
COVERED ENTRY PORCH	82.33
COVERED REAR PATIO	14.00
TOTAL UNHSF	773.61
TOTAL UNDER ROOF	2803.23

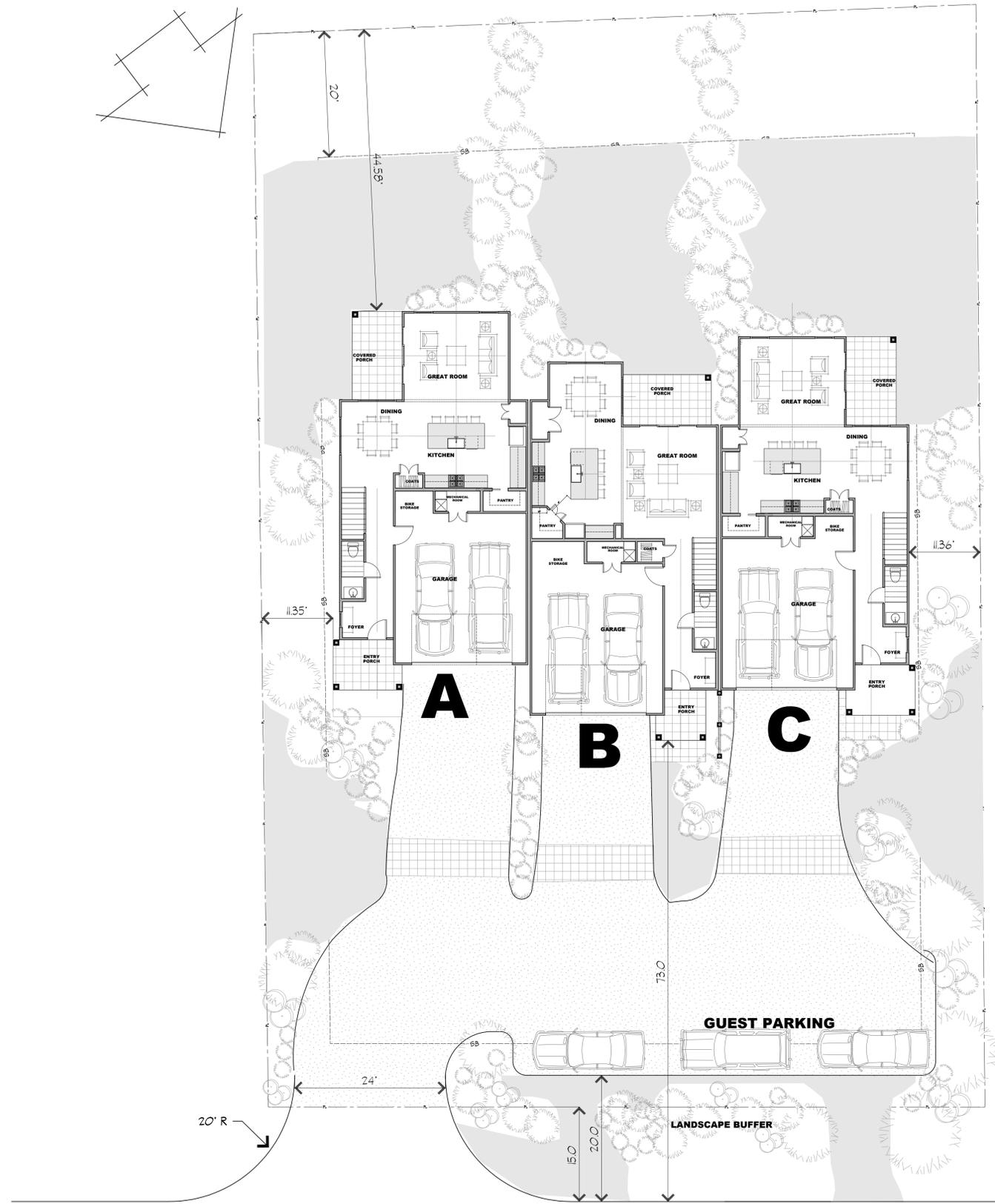
UNIT B

HEATED SQUARE FOOTAGE	
MAIN LEVEL LIVING	894.65
UPPER LEVEL LIVING	131.85
TOTAL HSF	2026.5
UNHEATED SQUARE FOOTAGE	
GARAGE AREA	567.62
STORAGE AREA	0.00
COVERED ENTRY PORCH	58.53
COVERED REAR PATIO	14.00
TOTAL UNHSF	740.5
TOTAL UNDER ROOF	2766.65

FOR REVIEW
01/19/2020

SITE PLAN

A0



WEST C STREET

1 SITE PLAN
A0 SCALE 1" = 10'-0"

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MND GROUP

Mike Novick Designs
www.mndgroup.com

13016 EASTFIELD RD
SUITE #200-235

HUNTERSVILLE, NC 28078

704-948-5556

MIKE NOVICK, DESIGNER

PRIVATE
RESIDENCE
TOWN HOMES

911 WEST C STREET
KANNAPOLIS
NORTH CAROLINA
28081

SHEET INDEX

COVER	DATE	DESCRIPTION
A0		SITE PLAN
A0.1		GENERAL NOTES
A0.2		NOT INCLUDED
A0.3		NOT INCLUDED
A1.0		FOOTING-FOUNDATION PLAN
A1.2		NOT INCLUDED
A2.0		FIRST FLOOR PLAN
A2.1		NOT INCLUDED
A2.2		NOT INCLUDED
A3.0		SECOND FLOOR PLAN
A3.1		NOT INCLUDED
A3.2		NOT INCLUDED
A4.0		NOT INCLUDED
A4.1		NOT INCLUDED
A4.2		NOT INCLUDED
A5.0		ROOF PLAN
A5.2		NOT INCLUDED
A6.0		EXTERIOR ELEVATIONS
A6.1		EXTERIOR ELEVATIONS
A6.2		NOT INCLUDED
A6.3		NOT INCLUDED
A6.4		NOT INCLUDED
A6.5		NOT INCLUDED
A6.6		NOT INCLUDED
A6.7		NOT INCLUDED
A7.0		NOT INCLUDED
A8.0		NOT INCLUDED
A9.0		WALL SECTION DETAILS
A9.1		STAIRWAY SECTION DETAILS
A9.2		NOT INCLUDED
A9.3		NOT INCLUDED
A9.4		NOT INCLUDED
A9.5		NOT INCLUDED
A9.6		NOT INCLUDED
A9.7		NOT INCLUDED
		STRUCTURAL ENGINEERING BY OTHERS

AREA CALCULATIONS

UNITS A + C

HEATED SQUARE FOOTAGE	
MAIN LEVEL LIVING	906.91
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TOTAL UNDER ROOF	2766.65

FOR REVIEW
01/19/2020

EXTERIOR ELEVATIONS

A6.0



1 FRONT ELEVATION
A6.0 SCALE 1/4" = 1'-0"

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AcctName1	MailAddr1	MailCity	MailState	MailZipCod
ACADEMIA PROPERTIES LLC	4325 BENDER CT	TROY	MI	48098
SMART INVESTMENTS GROUP LLC	7403 OLD OAK LANE	MINT HILL	NC	28227
GARRET HILLMAN	102 FIR AVE	KANNAPOLIS	NC	28081
HASKEL & IRENE CHILDERS	4900 HILTON LAKE ROAD	KANNAPOLIS	NC	28083
CANNON MEM YMCA & COMM CTR INC	P O BOX 46	KANNAPOLIS	NC	28081
TIMOTHY & WENDY BURRIS	100 FIR AVENUE	KANNAPOLIS	NC	28081
RUTH S WEDDINGTON ESTATE				
C/O LARRY WEDDINGTON	365 PITTS SCHOOL RD NW	CONCORD	NC	28027
NC C ST OZ FUND LLC				
ATTN: KEVIN BROWN	3111 CRAMER POND DR	CHARLOTTE	NC	28205



January 28, 2020

Dear Property Owner,

Please be advised that the City of Kannapolis Board of Adjustment will conduct a quasi-judicial public hearing on Tuesday, February 18, 2020 at 6:00 PM at City Hall, located at 401 Laureate Way, for the following case:

BOA-2020-03 – Conditional Use Permit (CUP) – 911 W C Street

This public hearing is to consider a request for a Conditional Use Permit (CUP) to allow construction of a 3-unit townhome. Pursuant to Table 4.6-1 of the Unified Development Ordinance (UDO), a CUP is required to allow for single-family attached in the B-1 (Neighborhood Commercial) zoning district. The subject property is located at 911 W C Street and is approximately .41 +/- acres, further identified as Cabarrus County Parcel Identification Number(s) 5614-11-9950. **(Please see reverse side of this letter for vicinity map showing the location of this property).**

As an adjacent property owner, you are being notified of this public hearing in accordance with the requirements of the Kannapolis UDO; and are invited to attend the public hearing and present testimony, should you desire, to the Board of Adjustment.

Should you have any questions about the public hearing or request, please do not hesitate to call the Planning Department at 704.920.4350

Sincerely,

Ryan Lipp
Senior Planner

The meeting is accessible to people with disabilities. To request special accommodation in advance, contact the City's ADA Coordinator at 704-920.4302.



Conditional Use Permit

Case Number: BOA-2020-03

Applicant: Kevin Brown
911 W C St.

N




KANNAPOLIS
BOARD OF
ADJUSTMENT
PUBLIC HEARING
INFORMATION
CALL 704-920-4350
CASE #BOA - 2020 - 03

KANNAPOLIS
YMCA





**Board of Adjustment – Special Meeting
February 18, 2020**

Staff Report

TO: Board of Adjustment

FROM: Ryan Lipp – Senior Planner

SUBJECT: Case# BOA-2020-04: Sports Entertainment Venue (SEV) Comprehensive Sign Package

Request for a Comprehensive Sign Package to be reviewed as a Conditional Use Permit for property located off Laureate Way and Watson Creek Drive.

A. Actions Requested by Board of Adjustment

1. Motion to accept the City’s exhibits into the record.
2. Motion to approve/revise Findings of Fact for the Conditional Use Permit.
3. Motion to approve (approve with conditions) (deny) the issuance of the Comprehensive Sign Package.

B. Required Votes to Pass Requested Action

A majority vote is required to approve, approve with conditions, or deny the requested actions.

C. Background

The applicant, Barton Malow, is requesting approval of a Comprehensive Sign Package. As an option to the sign standards in the Unified Development Ordinance (UDO), freestanding structures in excess of twenty-five thousand (25,000) square feet and/or master planned developments in excess of 10 acres shall be allowed to submit an application for a Comprehensive Sign Package. The purpose of a Comprehensive Sign Package is to encourage innovative, creative, and effective signage by providing an alternative to the general permanent signage criteria in Article 12. The Comprehensive Sign Package shall be reviewed as a Conditional Use Permit. The applicant is not limited to any dimensional regulations, except that the overall concept should follow these guidelines:

- The design, character, location and/or materials of all freestanding and attached signs proposed in a Comprehensive Sign Package shall be demonstrably more attractive than signs otherwise

permitted on the parcel(s) proposed for development under the minimum sign standards in Article 12.

- All signs must be architecturally integrated into/with the design of the building and/or site using similar and coordinated design features, materials, colors, etc.

The Sports and Entertainment Venue (SEV) is located at 250 W B Street and is zoned Center City (CC). The property has access to Laureate Way to the north, W B St. to the south, West Ave. to the east and Chestnut Ave. to the west (See Vicinity Map).

D. Policy Issues

Section 12.6 of the UDO states: “*As an option to the permanent signage standards set forth in this Chapter, freestanding structures in excess of twenty-five thousand (25,000) square feet and/or master planned developments in excess of 10 acres shall be allowed to submit an application for a Comprehensive Sign Package. All Comprehensive Sign Packages shall be reviewed as a Conditional Use Permit.*”

Staff Findings of Fact - Based on application review

Yes No

The proposed conditional use will be in harmony with the area in which it is to be located and in general conformance with the City’s Land Use Plan.

The *Move Kannapolis Forward 2030 Comprehensive Plan* designates the subject parcel as being located in a “Downtown Center” Character Area. The subject site is zoned CC (City Center) , and the sports entertainment venue use is a permitted use in the district. Signage is permitted in the CC zoning district. The proposed sign package will be in conformance with the uses recommended for this character area.

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

The Comprehensive Sign Package proposes tenant fascia allowances and property identification sign allowances. All signage meets visibility requirements of the City or State, whichever has jurisdiction. This would require all signage to be located outside of the public street Right-of-Way and the required sight triangle of any intersection. The plans submitted by the applicant would comply with these location restrictions and as a result, the proposed Comprehensive Sign Package will not create any traffic hazards or traffic congestion on public roads.

The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

The proposed use will not produce any noxious or offensive noise, odor, dust, smoke, or gas.

The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The Comprehensive Sign Package will not impede the orderly development of the surrounding properties as they are all on premise signs.

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

The proposed signs will be required to comply with all applicable regulations of the North Carolina Building Code which will help safeguard public health and safety. Therefore, the signs will not be detrimental to or endanger the public health, safety, or general welfare.

Compliance with any other applicable Sections of this Ordinance.

The Comprehensive Sign Package complies with all requirements of Article 12.6. Applicant has submitted a site plan that identifies locations of tenant and property identification signage. Applicant has also met the requirements of Article 12.6 by providing a list of guidelines for all future signage in the development.

E. Recommendation

Based upon an assessment of the criteria noted above, staff recommends approval of the Comprehensive Sign Package.

However, the Board of Adjustment should consider all facts and testimony after conducting the public hearing and render a decision accordingly to approve, approve with conditions, or deny the requested Conditional Use Permit.

F. Attachments

1. Conditional Use Permit Application
2. Proposed Sign Plans
3. Vicinity Map
4. Zoning Map
5. Future Land Use Map
6. List of notified properties
7. Letter to abutting property owners
8. Posted zoning sign

G. Issue Reviewed By:

City Attorney	X
Planning Director	X
City Manager	X



**Planning and Zoning Commission and Board of Adjustment
General Application Form
(Not for Site Plan Review Submittals)**

Type of Action Requested (Check One):

- | | | | |
|------------------------|-------------------------------------|----------------------------------|-------|
| Variance | _____ | SIA Application | _____ |
| Conditional Use Permit | <input checked="" type="checkbox"/> | Nonconformity Adjustment | _____ |
| Subdivision Exception | _____ | Watershed Boundary Modification | _____ |
| Zoning Text Amendment | _____ | Zoning Map Amendment | _____ |
| Appeal | _____ | Conditional Zoning Map Amendment | _____ |

Applicant: Barton Malow Owner: City of Kannapolis

Address: 1923 B South Blvd Address: _____
Charlotte, NC 28203

Telephone: 704-418-9086 Telephone: 704-920-4308

Email: Annamaria.Bassi@BartonMalow.com Email: resmith@kannapolisnc.gov

Legal relationship of applicant to property owner: General Contractor

Property Location/Address: 250 W B Street, Kannapolis NC 28081

Tax Parcel Number: _____ Zoning District: _____ Acreage of Site: _____

Kwame Alexander Eddie Smith
Applicant Name (Print) Property Owner Name (Print)

Applicant Signature & Date Property Owner Signature & Date

The agenda deadline is the first day of the month preceding the month of the meeting. To be considered for placement on the next meeting agenda, the signed application, application fee, and five (5) copies of any required site plans for staff review must be submitted by the deadline. However, to remain on the next meeting agenda, fifteen (15) copies of such plans, determined by staff to conform to all ordinance standards, must be submitted at least ten (10) days before the meeting date. All fees are nonrefundable and help to cover administrative and notification costs.

For Staff Use Only:

Filing Fee: _____ Receipt # _____

Application No.: _____ Date Submitted (Complete): _____



CITY OF KANNAPOLIS PLANNING DEPARTMENT

CONDITIONAL USE PERMIT APPLICATION

I, Kwame Alexander, PM for Barton Malow , hereby petition the Board of Adjustment for a Conditional Use Permit as required by Table 4.6-1 of the Unified Development Ordinance for the following proposed property use: Kannapolis Sports & Entertainment Venue .

The location of the above-mentioned proposed use is indicated on the accompanying site plan, and the nature of the proposed use is more fully described as follows:

Minor league baseball stadium and entertainment venue

APPROVAL CRITERIA

The Board of Adjustment does not have unlimited discretion in deciding whether to approve a conditional use permit. The Unified Development Ordinance requires that the applicant demonstrate successful compliance with several conditions to obtain a conditional use permit. In the spaces provided below, indicate the *facts* that you intend to provide to convince the Board that it can properly reach the following required conclusions:

A. The proposed conditional use conforms to the character of the neighborhood, considering the location, type, and height of buildings or structures and the type and extent of landscaping and screening on the site.

B. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize the traffic congestion on the public roads.

C. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

D. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

E. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, or general welfare.

F. Compliance with any other applicable Sections of this Ordinance.

I certify that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.



Signature of Applicant

01/21/2020

Date

The Board may place conditions on the use requested as part of the approval to assure that adequate mitigation measures are associated with the use.

Required as part of Conditional Use Permit Submittal:

- ☒ Fee: Please refer to fee schedule to determine applicable fees.
Fees are nonrefundable and help to cover administrative and notification costs.
- ☒ Site plan in conformance with criteria listed in Appendix B.4.
- ☒ Tax cards for all adjacent property owners

STAFF USE ONLY

Scheduled meeting date: _____

Dates advertised in newspaper: _____ and _____

Date written notices mailed: _____

Date sign posted: _____

Board Decision: _____

Conditions: _____

Date written notice of Board decision sent to applicant: _____

KANNAPOLIS SPORTS & ENTERTAINMENT VENUE

Signage Criteria

Table of Contents

1. Introduction
 - a. Intent
 - b. Submission Requirements
 - c. Responsibilities, Limitations, Liabilities

2. Tenant Fascia Signage
 - a. Description
 - i. Type of Sign
 - ii. Number of Primary I.D. Signs
 - iii. Letter Style
 - iv. Size and Location
 - v. Type Face and Colors
 - vi. Secondary Signage
 - vii. Installation and Construction

3. Property Identification Signage
 - a. Types and Design
 - b. Locations

4. Signage Details
 - a. Exhibit A: D-06
 - b. Exhibit B: ID-16
 - c. Exhibit C: X-01B
 - d. Exhibit D: X-04
 - e. Exhibit E: X-01A

5. Exhibit F: Signage Site Plan
6. Exhibit G: Message Schedule
7. Exhibit H: Signage Specifications

KANNAPOLIS SEV

Signage Criteria

1. Introduction

a. Intent

The purpose of these criteria is to establish the standards for the configuration, fabrication, installation, and operation of occupant signage and project identification for the referenced property.

Compliance with these regulations ensures that the tenant will have a sign that meets industry standards of materials, and fabrication. It insures the Landlord and City of Kannapolis of properly installed signage and in addition, a center free of poorly designed, fabricated and installed signs.

b. Submission Requirements

The sign contractor must submit two sets of professionally prepared drawings, to scale by the sign company, for approval and permit submission to the municipality.

These drawings must show:

- 1 . Elevation view of storefront showing sign (drawn to accurate scale) with dimensions of height of letters and length of sing.
- 2 Full Specifications of all materials and colors in the sign.
- 3 Cross-section view of sign showing dimension of letter and raceway.
- 4 One or more section drawings as necessary to full describe the methods of assembly and electrical components used.

c. Responsibilities, Limitations, Liabilities

All tenants must have a sign (or signs) that conform to the sign criteria. The following applies to all building and free-standing occupant signage.

- The tenant shall be responsible for the sign and its erection
- NO sign may be erected on the buildings or the property without first securing written approval of the Landlord.
- All permits as required by local building or sign codes shall be obtained by the tenant or its sign contractor.
- All costs for permitting, fabrication, and installation of signs shall be borne by the tenant.

2. TENANT SIGNAGE

a. *D-06*

- i. **Type of Sign:** Large directional sign which has the logo over (3) feet tall and more than (4) square feet in area
- ii. **Number of Primary I.D. Signs:** (2)

- iii. **Letter Style** Aluminum
- iv. **Size and Location** 8' H x 3' 2" W Main Concourse
- v. **Type Face and Colors** Black and Blue
- vi. **Installation and Construction** Ground mounted

b. ID-16

- i. **Type of Sign:** Bar Identity Sign with Team Logo.
- ii. **Number of Primary I.D. Signs:** (1)
- iii. **Letter Style** Illuminated channel letters
- iv. **Size and Location** 10" H x 12' 8" W Façade of bar
- v. **Type Face and Colors** White
- vi. **Installation and Construction** Mounted on bracket

c. X-01B

- i. **Type of Sign:** Scoreboard Identity Sign
- ii. **Number of Primary I.D. Signs:** (1)
- iii. **Letter Style** Illuminated channel letters
- iv. **Size and Location** 21" H x 17' 3" W, Above scoreboard
- v. **Type Face and Colors** Blue and white
- vi. **Installation and Construction** Mounted on bracket

d. X-04

- i. **Type of Sign:** Gate signs greater than (4) sqft; but no logo/under (3) feet tall.
- ii. **Number of Primary I.D. Signs:** (4)
- iii. **Letter Style** Illuminated Channel letters
- iv. **Size and Location** 12" H x 6' 7 1/8" W Above each entry gate.
- v. **Type Face and Colors** White and blue
- vi. **Installation and Construction** Mounted to gate

3. PROPERTY IDENTIFICATION SIGNAGE

a. X-01A

- i. **Type of Sign:** Building Main Identity Sign with Team Logo.
- ii. **Number of Primary I.D. Signs:** (1)
- iii. **Letter Style** Illuminated channel letters
- iv. **Size and Location** 6' 11" H x 17' 3" W
- v. **Type Face and Colors** White and blue
- vi. **Installation and Construction** Mounted on bracket

Exhibit A: D-06

POPULOUS®

4800 Main Street | Suite 300 | Kansas City, MO 64112
Main: (816) 221-1500 | Fax: (816) 221-1578

DRAWING NOTES:

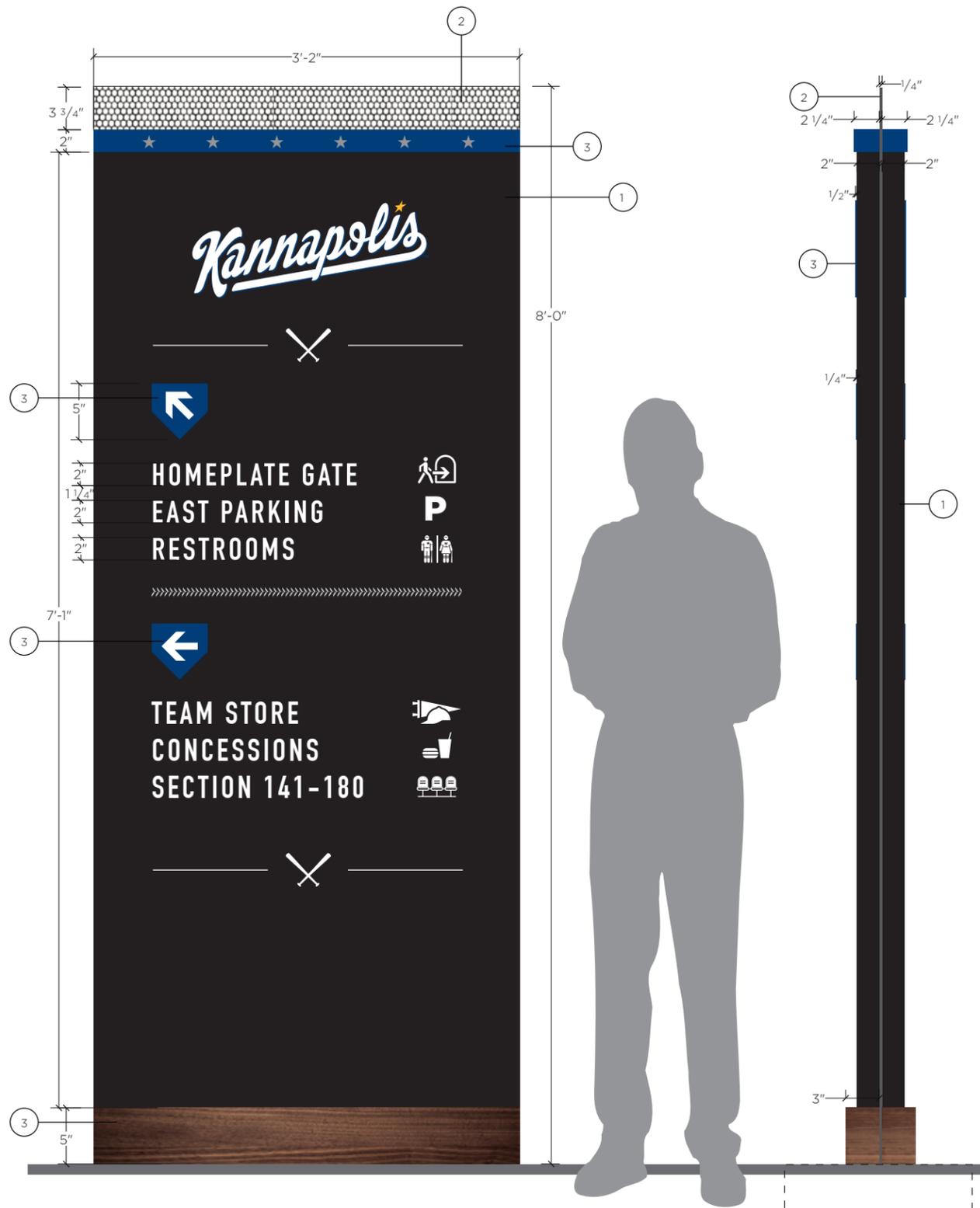
- 1. ALUMINUM SIGN CABINET**
 - 1/8" thick Aluminum panels
 - Cut out vinyl letters and pictograms
 - Vinyl to be applied to the faces of the panels.
 - QTY: 2 (Double sided)
- 2. ALUMINUM MESH**
 - 1/4" thick Aluminum Mesh (Perforated panel)
 - Mechanically attached to the panel
 - Painted P.01
- 3. ALUMINUM DETAILS**
 - 1/4" thick Aluminum panel with custom print dye-sublimated coating for exterior applications.
 - Attached to the faces of the cabinet.

FONTS:

MESSAGE: T2

ADDITIONAL REQUIREMENTS:

SIGN FABRICATOR IS RESPONSIBLE FOR VERIFYING MOUNTING CONDITIONS
SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS
REFER TO MESSAGE SCHEDULE FOR ALL COPY



A DETAIL
SCALE: 1"=1'-0"

B SIDE VIEW
SCALE: 1"=1'-0"



C CONTEXT ELEVATION
SCALE: 1/4"=1'-0"

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347
Phase: CCD 004
Date: 09.19.19

Drawing Name:

D-06 DIRECTIONAL PYLON

Exhibit B: ID-16

DRAWING NOTES:

- ILLUMINATED REVERSE CHANNEL LETTERFORMS
 - Internally Illuminated, facelit.
 - Welded aluminum construction
 - Paint returns TBD
 - FINAL COPY TO BE CONFIRMED

FONTS:

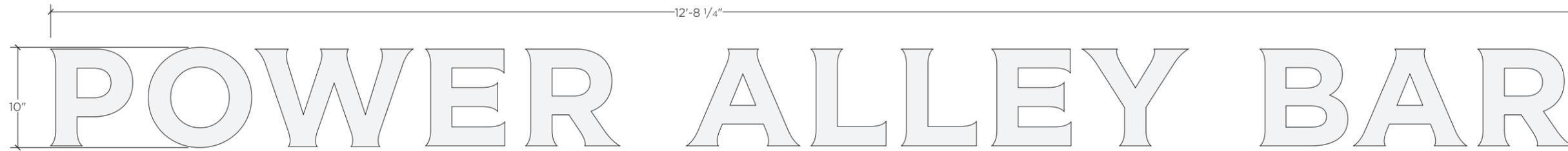
MESSAGE: T1

ADDITIONAL REQUIREMENTS:

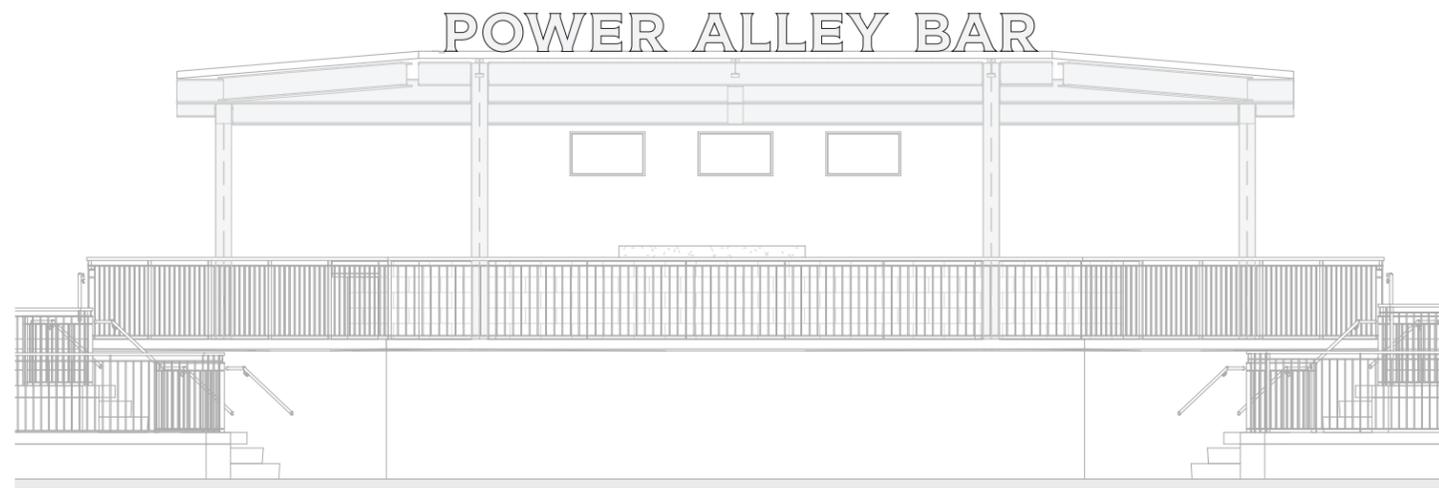
SIGN FABRICATOR IS RESPONSIBLE FOR VERIFYING MOUNTING CONDITIONS

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS

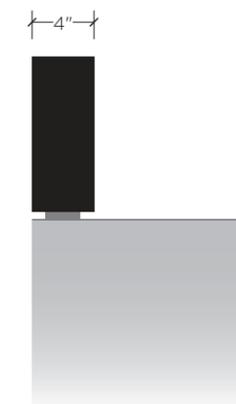
REFER TO MESSAGE SCHEDULE FOR ALL COPY



A DETAIL
SCALE: 1"=1'-0"



C CONTEXT ELEVATION
SCALE: 1/4"=1'-0"



B SIDE VIEW
SCALE: 1"=1'-0"

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347

Phase: CCD 004

Date: 09.19.19

Drawing Name:

ID-16 POWER ALLEY BAR

Exhibit C: X-01B

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Main: (816) 221-1500 | Fax: (816) 221-1578

DRAWING NOTES:

- ILLUMINATED REVERSE CHANNEL LETTERFORMS
 - Internally Illuminated / Face lit.
 - Welded aluminum construction
 - Paint returns color TBD
 - FINAL COPY TBD

FONTS:

MESSAGE: T1

ADDITIONAL REQUIREMENTS:

SIGN FABRICATOR IS RESPONSIBLE FOR VERIFYING MOUNTING CONDITIONS

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS

REFER TO MESSAGE SCHEDULE FOR ALL COPY

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347

Phase: CCD 004

Date: 09.19.19

Drawing Name:

X-01B BUILDING ID SCOREBOARD

sheet:

G.40.0



A DETAIL
SCALE: 1"=1'-0"



B SIDE VIEW
SCALE: 1"=1'-0"



C CONTEXT ELEVATION
SCALE: 1/4"=1'-0"

Exhibit D: X-04

DRAWING NOTES:

- ILLUMINATED REVERSE CHANNEL LETTERFORMS**
 - Internally Illuminated / Face lit.
 - Welded aluminum construction
 - Paint returns color TBD
 - FINAL COPY TBD
- ALUMINUM PENANT SHAPE**
 - Reverse channel Aluminum shape
 - Split the penant shape into two pieces, top and botom.
 - Painted faces and returns of penant P.3
 - Mechanically attach 2 pieces to the top and the bottom of the beams
- ALUMINUM MESH**
 - 1/4" thick Aluminum Mesh (Perforated panel)
 - Mechanically attached to the beam
 - Painted P.01
- ALUMINUM BEAMS**
 - 1/8" thick Aluminum tube / beam with custom wood print dye-sublimated coating for exterior applications.
- POST MOUNTING TBD**

FONTS:

MESSAGE: T1

ADDITIONAL REQUIREMENTS:

SIGN FABRICATOR IS RESPONSIBLE FOR VERIFYING MOUNTING CONDITIONS

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS

REFER TO MESSAGE SCHEDULE FOR ALL COPY

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347

Phase: CCD 004

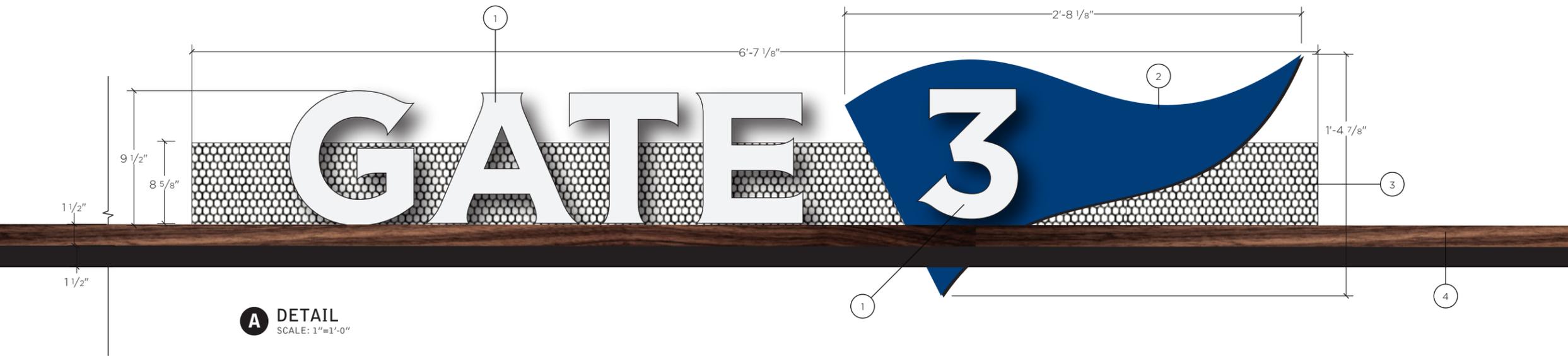
Date: 09.19.19

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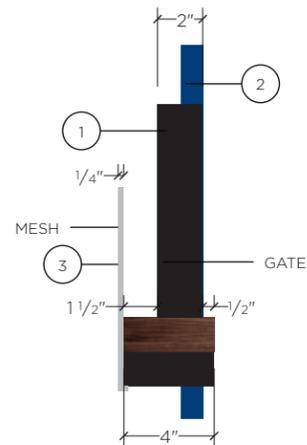
X-04 GATE ID

sheet:

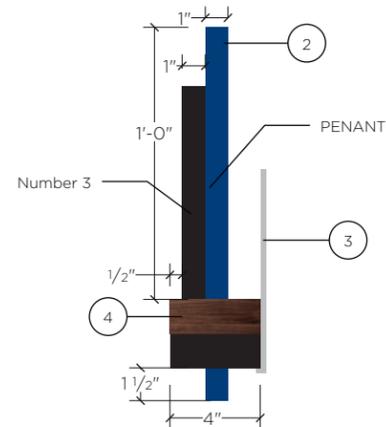
G.41.0



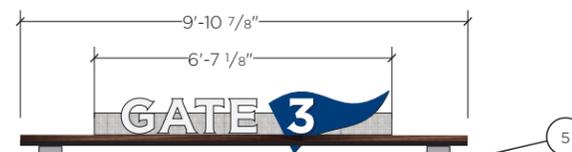
A DETAIL
SCALE: 1"=1'-0"



B SIDE VIEW
SCALE: 1"=1'-0"



C SIDE VIEW
SCALE: 1"=1'-0"



D CONTEXT ELEVATION
SCALE: 1/4"=1'-0"

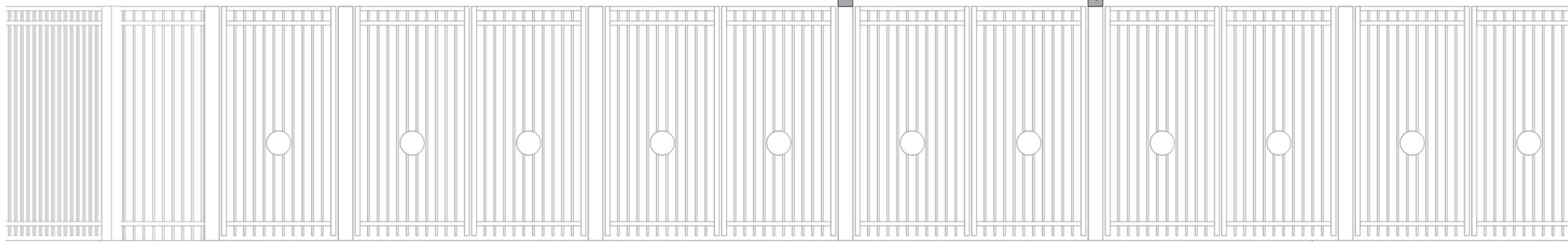


Exhibit E: X-01A

POPULOUS®

4800 Main Street | Suite 300 | Kansas City, MO 64112
Main: (816) 221-1500 | Fax: (816) 221-1578

DRAWING NOTES:

- ILLUMINATED REVERSE CHANNEL LETTERFORMS
 - Internally Illuminated / Face lit.
 - Welded aluminum construction
 - Paint returns color TBD
 - FINAL COPY TBD

FONTS:

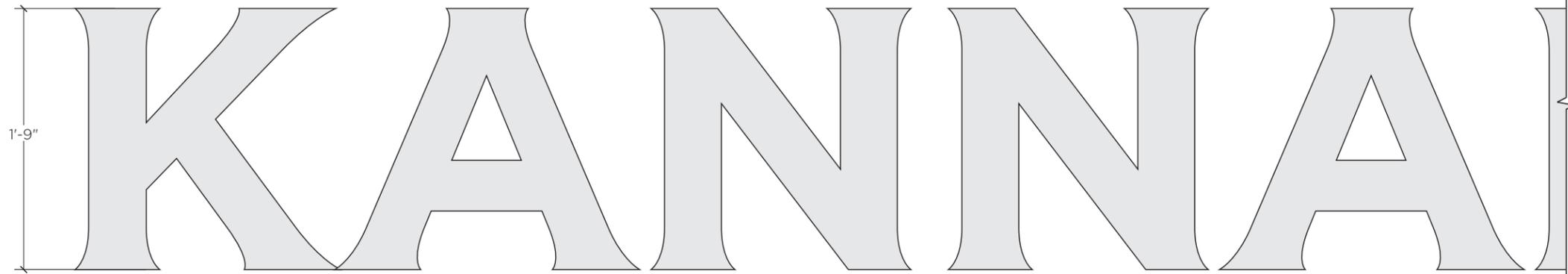
MESSAGE: T1

ADDITIONAL REQUIREMENTS:

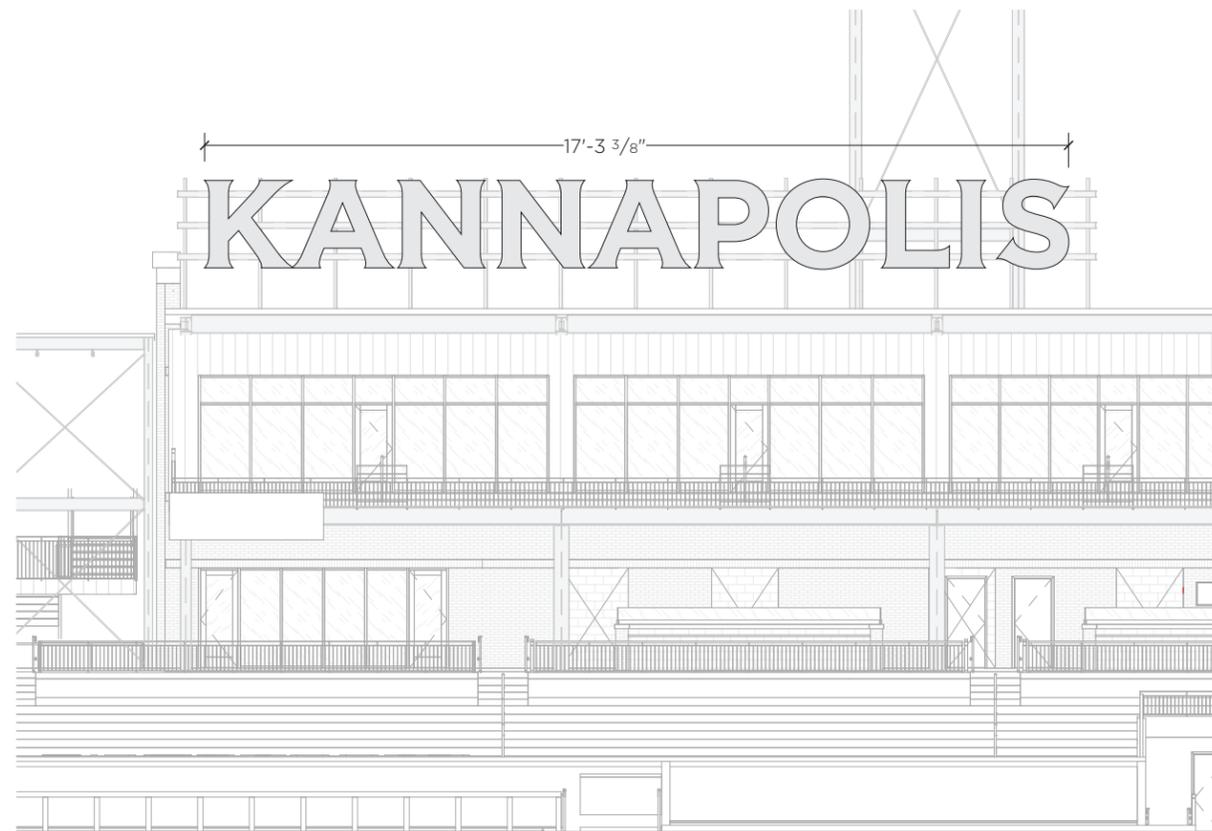
SIGN FABRICATOR IS RESPONSIBLE FOR VERIFYING MOUNTING CONDITIONS

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS

REFER TO MESSAGE SCHEDULE FOR ALL COPY



A DETAIL
SCALE: 1"=1'-0"



C CONTEXT ELEVATION
SCALE: 1/4"=1'-0"

4"



B SIDE VIEW
SCALE: 1"=1'-0"

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347

Phase: CCD 004

Date: 09.19.19

Drawing Name:

X-01A BUILDING ID

sheet:

G.39.0

**Exhibit F:
Signage Site
Plan**

Exhibit G: Message Schedule

SIGN TYPE	DESIGNATION	LEVEL	ROOM NAME	ROOM NUMBER	MESSAGE A	MESSAGE B	SERVICE	REVISIONS	COMMENTS
D-06	2E.27.03	CONCOURSE LEVEL			<left arrow> Gate ## Premium Club <stair icon><elevator icon> Suites <stair icon><elevator icon> Party Deck <stair icon> Loge Boxes Sections 101-115 Sections 201-204 <stair icon><elevator icon> Picnic Area <concession icon><restroom icon> <right arrow> Gates ## "Bar" "TBD Hospitality Seats" "TBD Bar Seats"	<up arrow> Gate ## <left arrow> Gates ## "Bar" "TBD Hospitality Seats" "TBD Bar Seats" <right arrow> Gate ## Premium Club <stair icon><elevator icon> Suites <stair icon><elevator icon> Party Deck <stair icon> Loge Boxes Sections 101-115 Sections 201-204 <stair icon><elevator icon> Picnic Area <concession icon><restroom icon>			
D-06	2E.31.02	CONCOURSE LEVEL			<up arrow> "TBD Hospitality Seats" <left arrow> Gate ## "Premium Club"<stair icon><elevator icon> Suites <stair icon><elevator icon> Party Deck <stair icon> Loge Boxes Sections 101-115 Sections 201-204 <stair icon><elevator icon> Picnic Area <concession icon><restroom icon> <right arrow> Gates ## "Bar" "TBD Bar Seats"	<up arrow> Gate ## <left arrow> Gates ## "Bar" "TBD Bar Seats" <right arrow> Gate ## "Premium Club"<stair icon><elevator icon> Suites <stair icon><elevator icon> Party Deck <stair icon> Loge Boxes Sections 101-115 Sections 201-204 <stair icon><elevator icon> Picnic Area <concession icon><restroom icon>			

D-06: 2

ID-16	2F.B2.01	CONCOURSE LEVEL			RE: DETAIL				
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ID-16: 1

SIGN TYPE	DESIGNATION	LEVEL	ROOM NAME	ROOM NUMBER	MESSAGE A	MESSAGE B	SERVICE	REVISIONS	COMMENTS
X-01A	4D.23.01	ROOF LEVEL			RE: DETAIL				
X-01A: 1									
X-01B	4H.V2.01	ROOF LEVEL			RE: DETAIL				
X-01B: 1									
X-04	2D.25.06	CONCOURSE LEVEL							
X-04	2E.31.03	CONCOURSE LEVEL							
X-04	2G.E4.06	CONCOURSE LEVEL							
X-04	2H.00.03	CONCOURSE LEVEL							
X-04: 4									

Exhibit H: Signage Specifications

SECTION 10 14 00 - SIGNAGE**PART 1 - GENERAL****1.1 SUMMARY**

- A. This Section includes engineering, furnishing, and installing the following signage and support systems:
 - 1. Aluminum signs and supports.
 - 2. Wayfinding signs, directories & room identification signs.
 - 3. Dimensional characters and icons.
 - 4. Sponsorship & branding signage.
- B. Sign & display locations are indicated on the Sign Location plans. Sign & display details are indicated in the Signage Detail Manual. Both are under separate cover.

1.2 RELATED SECTIONS

- A. Section 09 72 00 – Wall Coverings

1.3 PERFORMANCE REQUIREMENTS

- A. Structural Performance: Provide signs and anchorage points capable of withstanding the effects of gravity, wind, snow, and seismic loads and stresses, as indicated in the General Notes of the Structural Drawings determined according to the local building code and authorities having jurisdiction, reference specification section 01 40 00 Quality for Engineer.
 - 1. Deflection of signs and supports in vertical and horizontal direction shall be no greater than 1/360 of clear span or .75-inch (19 mm), whichever is smaller.
- B. Thermal Movements: Provide post and panel signs that allow for thermal movements resulting from the following maximum change (range) in ambient and surface temperatures by preventing buckling, opening of joints, overstressing of components, failure of connections, and other detrimental effects. Base engineering calculation on surface temperatures of materials due to both solar heat gain and nighttime-sky heat loss.
 - 1. Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

1.4 SUBMITTALS

- A. Required with the Bid:
 - 1. Provide per Unit Prices for each item type.
 - 2. Provide Unit Price as a square foot cost breakdown for graphic vinyl wall graphics & wall coverings.
- B. Product Data: Submit manufacturer's technical data and installation instructions relative to materials, dimensions of individual components, profiles, and finishes for each type of material required.
- C. Shop Drawings: Submit shop drawings for fabrication and installation/mounting method for each typical sign type or display type. Include plans, elevations, Isometric views and large-scale

details of each element. Include large scale sections of typical members and other components. Show fabrication joints, seams, grain direction and fasteners. Show anchors, grounds, reinforcement, accessories, layout, and installation details.

1. For items required to comply with design loads, include structural analysis data signed and sealed by the licensed professional engineer responsible for their preparation.
 2. Submit graphic layouts for verification, including outline of sign face, character spacing, line spacing, and copy composition. Submit sign layouts for each sign type.
 3. Engineering, document & sample review, fabrication, and construction schedule.
 4. For signs supported by or anchored to permanent construction, provide setting drawings, full-size spacing templates, and directions for installation of anchor bolts and other appropriate anchors to be installed.
 5. Submit drawings in 11-inch by 17-inch format unless otherwise requested by the Architect.
 6. Provide a full-color printed proof of all final artwork (digital proofs are not sufficient). Proofs to be printed on the specified material for each item, using the same print or application processes that will be used for the final installed items. Proofs are to include a swatch of the 100% full size graphic at at least 8"x8", as well as a scaled version of the entire artwork. Approved print proofs will function as control samples for color, resolution and print quality.
- D. Samples: Submit three 6-inch (150 mm) square samples of each material showing finishes, colors, surface textures and qualities of manufacturer and design of each component including graphics. One sample set to be kept by Architect, contractor, and client as a record to later match against items in the field.
1. Submit full-size sample first article units, per Section 3.6, before production run is commenced. Acceptable units may be installed as part of the work.
- E. Provide method of translation and written documentation that the braille translation included on the manufacturer's signage provided in this section has been evaluated by a Braille translator certified in writing by either The Library of Congress or the National Federation for the Blind, and is, in their opinion, correct and compliant with ADAAG.
- F. Maintenance Data: Provide a Maintenance and Operating Manual comprised of cleaning and operations needs for each sign/graphic/display type. This shall include information on repair due to common vandalism, changing of messages and parts replacement needs. Include manufacturers' brochures and parts lists describing the actual materials used in the work, including metal alloys, finishes, electrical components and other major components. Provide working art file templates to the owner for future use.

1.5 QUALITY ASSURANCE

- A. Professional Engineer Qualifications: A professional engineer who is legally qualified to practice in jurisdiction where Project is located and who is experienced in providing engineering services of the kind indicated. Engineering services are defined as those performed for design and installations of signs, and miscellaneous supports that are similar to those indicated for this Project in material, design, and extent.
- B. Manufacturer Qualifications: All fabrication within this section shall be performed by a manufacturer with a minimum of five (5) years experience producing and installing architectural signs, and a minimum of five (5) years experience producing compliant signs as specified in ANSI 117.1 (1986), Minimum Guidelines and Requirements for Accessible Design (MGRAD), Uniform Federal Accessibility Standards (UFAS) and Americans with Disabilities Act Accessibility Guidelines (ADAAG).

- C. Drawings and Specifications: The Architect will provide electronic files of typical sign layout drawings in Adobe Illustrator CC format. For electronic files requested in any format other than Adobe Illustrator CC, the Contractor shall reimburse the Owner, for additional services required of the Architect for converting the electronic files. Architect will provide electronic files indicating fonts, icons, designs, and key visual parameters of the design intent. Fabricator shall develop and produce final, high resolution production-ready artwork based on these guides and the details on the Drawings – this includes any up-sampling or interpolation required for large scale photo-based graphics.
1. Drawings and specifications indicate spacing of members, sizes of components, profile, dimensions, materials, and design, assembly and fabrication requirements for the signs.
 2. Requests for deviations from indicated dimensions and profiles will be considered provided that the intended aesthetic effect is not modified, as judged and approved solely by Architect. If modifications are proposed, submit comprehensive explanatory data to Architect for review.
- D. Uniformity of Manufacturer: For each separate type of material, finish or sign or display type, obtain signs from a single manufacturer to ensure consistency.
1. Manufacturer's name, trade name, or trade mark shall not appear on any visible surface.
- E. Adhesion Testing – For all applied graphic films and vinyl products, perform adhesion tests on accordance with manufacturer's specifications. Provide results of adhesion testing to the Architect and the contractor for approval.
- F. Fire-Test-Response Characteristics: Provide banners and flags constructed of fabrics that are identical to products that pass Test Method 1 of NFPA 701 performed by UL or another testing and inspecting agency acceptable to authorities having jurisdiction.
1. Flame-Spread Index: 25 or less.
 2. Smoke-Developed Index: 450 or less.
- G. Welding Standards: Qualify procedures and personnel according to the following:
1. AWS D1.1, "Structural Welding Code--Steel."
 2. AWS D1.2, "Structural Welding Code--Aluminum."
 3. AWS D1.3, "Structural Welding Code--Sheet Steel."
 4. AWS D1.6, "Structural Welding Code--Stainless Steel."
- H. Aesthetic Requirements: Provide copy with straight and true edges; space characters with tracking and leading as indicated; reproduce typefaces accurately with square corners and even curves; provide uniform letters and symbols; and provide smooth finishes with no visible imperfections.
- I. Regulatory Requirements – Comply with applicable requirements of the applicable laws and authorities. Obtain necessary approvals and permits from all such authorities as required.
- J. ADA Accessibility Guidelines: All signage shall comply with the ADA Accessibility Guidelines where applicable. Characters and graphics, including but not limited to, copy height, letter stroke, symbols, materials, and finishes indicated on the Drawings are intended as guidelines for compliance. Implement each applicable ADA Guideline. Should conflicts arise, notify the Architect before proceeding.
- K. Mockups: Provide one mockup sign of each type indicated in the schedule at the end of this Section, to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and fabrication.
1. Approved mockups may be forwarded to the Project site and may become part of the completed Work.

- L. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.

1.6 PROJECT CONDITIONS

- A. Field Measurements: Verify dimensions of install locations for all items by field measurement before fabrication and indicate measurements, and any obstructions on Shop Drawings.
 - 1. Wall Graphic Dimensions. Field verify dimensions and provide digital templates to the Architect for all applied wall graphics. Note all obstructions (fire strobes, hatches, panels, electrical boxes, exit signs, columns, etc.), and as-built dimensions. These templates are to be used in the preparation of all production-ready art files. Where required, the artwork is to be modified to eliminate any conflicts obstructions, or variations in install size. The Architect is to review and approve all such necessary changes to the artwork before fabrication.
 - 2. Established Dimensions: Every effort shall be made to verify dimensions in the field before production. In the case where field measurements cannot be made without significantly delaying the Work, the Fabricator is to review the established installation location and dimensions with the Contractor and the Architect. The Contractor is responsible to provide an installation surface that accommodates the established dimensions identified.

1.7 COORDINATION AND SCHEDULE

- A. Installation: Coordinate installation with the Contractor. For items supported by or anchored to permanent construction, coordinate specific requirements for types and placement of anchorage devices and similar items to be used for attaching signs and displays.
 - 1. For any items supported by, anchored to or mounted to permanent construction, furnish templates to the Contractor for installation of blocking, anchorage devices, and electrical conduits.
 - 2. For any wall coverings that require a level 5 finish furnish templates to the Contractor and coordinate wall preparation in keeping with the product manufacturers specifications.
- B. Prepare a schedule indicating engineering, sample and material reviews, print proofs, fabrication, delivery, installation, and final inspection of the Work. Submit this schedule to the Architect and Owner for approval and coordination with other work at the Project Site.
- C. Coordinate location of remote transformers with building construction. Ensure that transformers are accessible after completion of Work.

1.8 DELIVERY, STORAGE AND HANDLING

- A. Package material in like groups and label accordingly.
- B. Protect items during transit, delivery, handling, and storage to prevent damage, soiling, and deterioration. Minor damage to finishes may be repaired provided the final finishes are equal to the original finishes, are without noticeable flaws, and are acceptable to the Architect. If not in like-new condition, or if not acceptable to the architect, remove and replace damaged items with new signs.

- C. Coordinate delivery and storage of sign materials with the Contractor in advance. Schedule delivery to minimize storage requirements. Materials stored at the Project Site without prior approval may have to be relocated at the Fabricator's expense.

1.9 MAINTENANCE

- A. Furnish a list of cleaning materials appropriate for maintenance of signs, graphics and displays to both the Owner and the Contractor. Provide written instructions for proper maintenance, electrical access, and character and lighting replacement procedures. Include recommended methods for removal of residual adhesives from wall surfaces after removal of adhered items.

PART 2 - PRODUCTS

2.1 MATERIALS, GENERAL

- A. Use materials of size and thickness indicated or, if not indicated as required to produce strength and durability in finished product for use intended. Work to dimensions shown or accepted on shop drawings, using proven details of fabrication and support. Use type of materials shown or specified for various components of work.
- B. All materials shall be free from defects impairing strength, durability, and appearance. No fabrication or installation materials or procedures shall be used that will in any way change the usual quality or in any manner have an adverse effect on existing materials and surfaces. All materials shall be new stock, unless the Architect has specified a reclaimed or recycled material.
- C. Graphic Content and Style: Provide graphic layouts and sign copy that complies with requirements indicated in the Signage Detail Manual and Signage Message Schedule and on preliminary artwork supplied by Architect for size, fonts, style, spacing, content, mounting height and location, materials, finishes, and colors.

2.2 MATERIALS

- A. General: For the fabrication of exposed metal work, use only materials which are smooth and free of surface blemishes including pitting, roughness, seam marks roller marks, and trade names. Do not use materials which have stains or discolorations.
 - 1. Provide stretcher leveled standard of flatness.
- B. Aluminum Sheet and Plate: ASTM B 209 (ASTM B 209M), alloy and temper recommended by aluminum producer and finisher for type of use and finish indicated, and with at least the strength and durability properties of alloy 5005-H15.
 - 1. Thickness: Provide aluminum sheets and plates in sizes specified or indicated on the Drawings.
- C. Aluminum Extrusions: ASTM B 221 (ASTM B 221M), alloy and temper recommended by aluminum producer and finisher for type of use and finish indicated, and with at least the strength and durability properties of alloy 6063-T5.
- D. Stainless Steel: Grade and type designated below for each form required:
 - 1. Tubing: ASTM A 554, Grade MT 316.
 - 2. Pipe: ASTM A 312/A 312M, Grade TP 316.

3. Castings: ASTM A 743/A 743M, Grade CF 8M.
 4. Sheet, Strip, Plate, and Flat Bar: ASTM A 666, Type 316.
 5. Bars and Shapes: ASTM A 276, Type 316.
- E. Metal Laminate: Grade 83 (.25-inch (0.7mm)) solid metals and solid metal strips. Solid aluminum mechanically etched sheet with light epoxy protection.
1. Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, but are not limited to, the following for specific applications:
 - a. Wilsonart International
 - b. ChemMetal
 - c. NuMetal
 - d. Formica

2.3 PLASTIC

- A. General: Plastic shall be free of imperfections from forming or fabrication. All surfaces shall be free from scratches and shall be cleaned and polished per manufacturer's instructions at completion of installation. Edges shall be flame polished, free of saw marks and chips, and be eased, unless otherwise noted.
- B. Monolithic Acrylic Sheet (methylmethacrylate): ASTM D 4802, Category A-1 (cell-cast sheet), Type UVF (UV filtering), of thickness indicated, with Finish 1 (smooth or polished finish) and Finish 3 (abrasion resistant coating) as indicated.
1. Transparent: Provide colorless sheet with visible light transmittance of 92 percent measured per ASTM D 1003.
 - a. Provide Finish 3.
 2. Translucent: Provide white translucent sheet of density required to produce uniform brightness and minimum halation effects.
 - a. Provide Finish 1.
 3. Opaque: Provide colors and finishes indicated or, if not indicated, as selected by Architect from manufacturer's full range.
 - a. Provide Finish 1.
- C. Colored Coatings for Acrylic Sheet: For copy and background and frame colors, provide Pantone Matching System (PMS) colored coatings, including inks and paints, that are recommended by acrylic manufacturers for optimum adherence to acrylic surface and are nonfading for application intended.

2.4 GRAPHIC FILM

- A. General: Provide vinyl graphic film suitable for interior and exterior applications of types indicated below.
1. Vinyl Thickness: 2-mil (0.05 mm), minimum.
 2. Adhesive: Clear, pressure sensitive, permanent adhesive (unless removable adhesive is specified).
 3. Overlamine: Include a Matte overlamine for all interior vinyl graphic films unless otherwise indicated in the Signage Detail Manual.
 4. Installation: Use minimum overlapping seams advised by the manufacturer.
- B. Basis-of-Design Products: The design is based on the products named. Subject to compliance with requirements, provide either the named products or comparable product by one of the other specified manufacturers. Comparable products are subject to review and approval through

the submittal process specified. Note: All film/vinyl materials require an adhesion test prior to printing to confirm successful adhesion.

1. Opaque Vinyl Film: Non-reflective, pre-spaced die-cut letters and film, supplied in specified typeface, color, and spacing on a quick-release backing sheet.
 2. Transparent Vinyl Film: 3M Scotchcal™ Clear Graphic Film 8626 ES.
 3. Translucent Vinyl Film: 3M Scotchcal™ Translucent Graphic Film 8628 ES.
 4. Opaque Imaging Media for smooth surfaces: 3M Controltac Graphic Film with Comply v3 Adhesive IJ180CV3-10 with 3M Scotchcal Matte Overlamine 8510M
 - a) Provide alternate pricing for 3M Scotchcal Graphic Film with Comply Adhesive IJ40C-10R with 3M Scotchcal Matte Overlamine 8510M
 5. 3M Scotchcal™ for Textured Surfaces; Series IJ8624 with 3M Luster Overlamine 8524.
 6. 3M Panaflex™ Awning and Sign Facing; Series 945GPS.
 7. 3M Vinyl 8150 with 7 Year Lifespan for window graphics.
- C. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
1. 3M
 2. Avery Dennison Graphics Division
 3. Orocal/Orofol Graphic Products

2.5 HARDWARE, FASTENERS, AND ADHESIVES

- A. Fasteners: Unless otherwise indicated, use concealed fasteners fabricated from metals that are non-corrosive to either the sign material or the mounting surface. If concealed fasteners are not practical or possible, provide vandal-resistant fasteners.
- B. Fabricate brackets and fittings for bracket-mounted signs from materials compatible with panel sign construction and mounting conditions indicated. Factory-paint brackets in color matching background color of panel sign.
1. Steel Tubing: Cold-formed steel tubing complying with ASTM A 500, Grade B.
 2. Structural Steel Shapes, Plates, and bars: Cold formed steel fabrications complying with ASTM A36.
- C. Anchors and Inserts: Use non-ferrous metal or hot-dipped galvanized anchors and inserts for exterior installations and elsewhere as required for corrosion resistance. Use toothed steel or lead expansion bolt devices for drilled-in-place anchors. Furnish inserts, as required, to be set into concrete or masonry work.
1. For attachment to metal panels, use #12 stainless steel, Type 410, self-tapping screws with integral neoprene washers.
- D. Adhesives: Provide products equal to "Depend 330" as manufactured by Loctite Acrylic Adhesives. (216)881-2828. Fabricator shall verify with painting manufacturer compatibility of the adhesive to the paint.
- E. Very High Bond (VHB) Tape: Provide 3M (or approved equal) VHB tape at the appropriate thickness/strength required for the weight and size of each item installed.
- F. Silicone Adhesive: Provide liquid silicone adhesive (sealant) with a methanol or acetic cure as recommended by the sign fabricator.
- G. VOC Content of Interior Sealants: Sealants and sealant primers used inside the weatherproofing system shall comply with the following limits for VOC content when calculated according to 40 CFR 59, Subpart D (EPA Method 24):
- a) Architectural Sealants: 250 g/L.

- b) Sealant Primers for Nonporous Substrates: 250 g/L.
 - c) Sealant Primers for Porous Substrates: 775 g/L.
- H. Spacers: Provide Manufacturer's standard spacers when necessary.

2.6 GRAPHIC REQUIREMENTS, GENERAL

- A. General: Type style shall be as indicated in the Signage Detail Manual.
1. Typeface, numerals, icons and designs shall be consistent to the design intent shown in the Signage Detail Manual. Some variation in tracking and character width to ensure messages fit, may be acceptable. Any variations to be reviewed and approved by the Architect.
 2. Characters indicated on the Drawings are intended as guidelines for layouts and font size only, and are based on scale calculations of the message lengths within given and estimated sign areas. The actual copy required on individual signs is indicated in the signage message schedule. Should conflicts arise in the final message layout, notify the Architect before proceeding.
 3. Spelling and punctuation shall be correct. Should an error in spelling or punctuation be found, or the spelling appears questionable, notify the Architect before proceeding.
 4. Align letter forms to maintain a baseline parallel to the sign format, unless otherwise indicated. Maintain uniform margins in sign layouts.
 5. Suite Identification Signs, and Signs with Name Inserts: Owner will determine names for each individual suite or office.
 6. Provide digital proofs of final signage layouts to the Architect for approval before fabrication.
- B. Tactile and Braille Copy: Manufacturer's standard process for producing copy complying with ADA Accessibility Guidelines and ICC/ANSI A117.1. Text shall be accompanied by Grade 2 braille. Produce precisely formed characters with square cut edges free from burrs and cut marks.
1. Raised-Copy Thickness: Not less than .03125-inch (0.8 mm).
 2. For Grade 2 Braille copy, coordinate messages in conjunction with Graphic and Sign Schedule. Braille copy contained on drawings is for size and position only and shall not be used for full message.
 3. Symbols and other ADA required symbols, (International Symbol of Accessibility; Symbol of Access for Hearing Loss; International TDD Symbol; and Symbol of Volume Control), which are referenced in the documents, are available from Architect in Adobe Illustrator formats.
- C. Production-Ready Artwork: The Signage Detail Manual includes specifications for all visual elements including, but not limited to, type, symbols, logos, photography, artwork, and arrows. The Fabricator is to create final production-ready artwork necessary to complete all signs and graphics based on the design intent included in the Signage Detail Manual.
1. Production-ready artwork is to be high enough resolution to provide crisp edges and lines for all vector artwork, and to avoid any visible blurring or pixilation of photographic images. Fabricator to interpolate and up-sample photographic artwork as required for the installation location and viewing distance. Do not use the construction documents as production art. The Fabricator is to provide printed proofs of all graphics to ensure color and resolution are acceptable – samples to include a swatch of the 100% full size graphic as well as a scaled version of the entire artwork – printed on the specified substrate.
 2. Silkscreens shall be executed from photoscreens or negatives. Pattern cut screens may be used where non-repeat copy is required; however, copy mask shall be equivalent to photoscreen quality. Do not use the construction documents as production art.

2.7 FABRICATION, GENERAL

- A. General: Fabricate signs to comply with requirements indicated on drawings for materials, thicknesses, finishes, colors, designs, shapes, sizes, and details of construction.
1. Form exposed faces and sides of signs to produce surfaces free from warp, distortion, and "oil canning."
 - a) Include internal bracing for stability and attachment of mounting accessories as required.
 - b) Cut metal edges on a continuous line and sand smooth. Seams shall be straight and symmetrical.
 - c) Form exposed connections with hairline joints, flush, and smooth.
 - d) Form exposed work true to line and level with sharp angles, surfaces, and edges. Ease exposed edges to a radius of approximately .03125-inch (0.8 mm) unless otherwise indicated. Form bent-metal corners to smallest radius possible without causing grain separation or cracking of applied finishes.
 2. Welding, when necessary, shall be of the appropriate type to minimize permanent distortions of flat surfaces. Remove welding flux, oxides and discolorations by pickling or grinding, so that these areas match the finish of the adjacent areas. Repair damage caused by the fabrication by grinding, polishing, or buffing.
 - a) Weld corners and seams continuously, complying with AWS recommendations. At connections, grind exposed welds smooth and flush to match and blend with adjoining surfaces.
 3. Cut, reinforce, drill, and tap miscellaneous metal work as indicated to receive finish hardware and similar items.
 4. Produce smooth, even, level sign panel surfaces, constructed to remain flat under installed conditions within a tolerance of plus or minus one percent measured diagonally from corner to corner.
 5. Fabricate, brackets and fittings for signs to suit sign panel construction and mounting conditions indicated. Connections, angles, shapes and details shown are suggestive and are to be sized, reinforced and detailed as required. Details not shown are to be equal in quality to those detailed. Factory paint brackets in color matching background color of sign panel.
 6. Provide concealed access to internally illuminated signs for relamping and service. Service access shall be waterproof and secured against vandalism.
 7. Conceal union, fabricator, or other labels.
 8. For sign panel units in exterior applications provide standard weatherproofing construction, including weather-stripping, weeping, and venting provisions for condensation control.
- B. Metal signs facing and cladding shall be aluminum unless otherwise indicated or specified in the Signage Detail Manual.
- C. Where galvanized steel and aluminum meet, the materials shall be materially isolated from one another to prevent electrolytic action. Aluminum joints and connections shall be heli-arc welded and flush, true, ground, and polished smooth and without defects. Character forms shall be cut true to typeface with no burns or imperfections of any kind.
- D. Internal Structure: Provide completely hidden, internal structures for support and anchorage, unless indicated otherwise on the drawings. Primary support structure shall hot dipped galvanized steel or aluminum.

2.8 PANEL SIGNS

- A. Exterior Plaque Sign: Unless otherwise specified in the Signage Detail Manual, provide products fabricated from 0.125-inch aluminum plate with 0.030 inch thick double face tape

mounting and silicone adhesive. Sign copy shall be raised 1/32 inch from plaque first surface by manufacturer's standard photochemical process. Provide opaque graphics and Braille to comply with ADA regulations. All exterior signage is to include weep/drain holes as required.

1. Finish: As indicated in the Signage Detail Manual.
 2. Graphics: As indicated in the Signage Message Schedule.
- B. Interior Plaque Sign: Unless otherwise specified in the Signage Detail Manual, provide products fabricated from 0.125-inch-thick acrylic with exterior grade polyamide resin sign face and 0.011-inch carrier with 0.030-inch double face tape mounting and silicone adhesive. Sign copy shall be raised 1/32 inch from plaque first surface by manufacturer's standard photomechanical stratification process. Provide opaque graphics and Braille to comply with ADA regulations.
1. Finish: Manufacturer's custom color with matte texture.
 2. Graphics: As indicated on the Drawings.
- C. Chemically-etched Zinc Sign Panels: Unless otherwise specified in the Signage Detail Manual, sign copy shall be raised 1/32 inch from plaque first surface. Provide opaque graphics and Braille to comply with ADA regulations.
1. Thickness: 0.125 inch (3.2 mm).
 2. Zinc Finish: Manufacturer's sandblasted with horizontal grain.
 3. Background Texture: Smooth, matte finish.
 4. Graphics: As indicated on the Drawings.
 5. Manufacturer: Dixie Graphics.
- D. Framed Hollow-Box-Type Panels:
1. Panel Material: Unless otherwise specified in the Signage Detail Manual, 0.125-inch-(3.2-mm-) thick aluminum sheet.
 2. Panel Finish: Unless otherwise specified in the Signage Detail Manual, baked enamel.
 - a) Panel Finish: Manufacturer's standard semigloss finish with UV inhibitors.
 - b) Provide clips welded to back of panels for installation without visible fasteners.
 3. Frame Material: Unless otherwise specified in the Signage Detail Manual, extruded aluminum, fabricated to profile indicated; comply with the following:
 - a) Frame Finish: High-performance organic coating.
 - b) Corner Condition: Corners rounded to radius indicated.
 4. Illuminated-Sign Units: Unless otherwise specified in the Signage Detail Manual, provide internal illumination using concealed, internally wired, LED system to illuminate message panels uniformly with minimum halation and without light leaks. Include LED's, transformers, and other components necessary for complete systems. Make provisions for servicing and concealing transformers and connections to building electrical system. Coordinate electrical characteristics with those of power supply provided. Loading shall be verified by following the testing procedures recommended by the LED-systems manufacturer.
 - a) Color: refer to Signage Detail Manual for color temperature
 - b) Population: Maximum 4-inch spacing between LED strips or segments.
 - c) All LEDs to use constant current technology.
 - d) All LEDs to be IP67 rated for interior environments, and IP68 in exterior or open air environments.
 - e) Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that shall be incorporated into the Work include:
 1. Bitro Group
 2. Sloan LED
 3. GE Lighting

2.9 FABRICATED LETTERS AND NUMBERS

- A. Channel Characters: Fabricate letters and numbers to the required sizes and styles, using metals and thicknesses indicated below. Form exposed faces and sides of characters to produce surfaces free from warp and distortion. Include internal bracing for stability and attachment of mounting accessories as required. Fabricate by the heliarc welding process.
1. Aluminum Sheet: Not less than 0.090 inch thick.
 2. Finish: Manufacturer's custom color urethane.
 - a. Color: As indicated on the Drawings.
- B. Reverse Channel Characters: Fabricate letters and numbers to the required sizes and styles, using metals and thicknesses indicated below. Form exposed faces and sides of characters to produce surfaces free from warp and distortion. Include internal bracing for stability and attachment of mounting accessories as required. Fabricate by the heliarc welding process.
1. Aluminum Sheet: Not less than 0.090 inch thick.
 2. Finish: Manufacturer's custom color urethane.
 - a. Color: As indicated on the Drawings.
- C. Illuminated LED Channel Characters: Provide LED illuminated channel character systems for exterior applications as indicated on the drawings. Include LED's, transformers, and other components necessary for complete systems. Make provisions for servicing and concealing transformers and connections to building electrical system. Coordinate electrical characteristics with those of power supply provided. Loading shall be verified by following the testing procedures recommended by the LED-systems manufacturer.
1. Color: As indicated in the Signage Detail Manual.
 2. Population: Maximum 4-inch spacing between LED strips or segments.
 3. All LEDs to use constant current technology.
 4. All LEDs to be IP67 rated for interior environments, and IP68 in exterior or open air environments.
 5. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work may include:
 - a. Bitro Group
 - b. Sloan LED
 - c. GE Lighting

2.10 PRINTED BANNERS

- A. Basis-of-Design Manufacturer: The design is based on products by the manufacturer named. Subject to compliance with requirements, provide either the named manufacturer's products or comparable products by another manufacturer. Comparable products are subject to review and approval through the submittal process specified.
- B. General: Unless otherwise specified in the Signage Detail Manual, provide banner material suitable for exterior applications of type indicated below:
- a) 22 mil white-pigmented vinyl substrate with a polyester scrim.
 - b) 3M Panagraphics III Wide With Flexible Substrate
1. Flame Resistance for Interior Banners: Passing NFPA 701, Part 2.
 2. Overlamine for Exterior Banners: 3M Scotchcal™ Matte Overlamine 8520.
 3. Banner Weights: Concealed.
 4. Seams: None.
 5. Wind slits: None.
 6. Printed Image: 3M Scotchprint electrostatic.
- C. Light Pole Attachment Brackets: Unless otherwise specified in the Signage Detail Manual, Spring-loaded, wind release brackets designed for winds up to 90 mph.
1. Basis of Design: "BannerSaver Brackets" by Britten Banners & Event Solutions.

2.11 FINISHES, GENERAL

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Protect mechanical finishes on exposed surfaces from damage by applying strippable, temporary protective covering before shipping.
- C. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of range of approved Samples. Noticeable variations in same piece are not acceptable. Variations in appearance of other components are acceptable if they are within range of approved Samples and are assembled or installed to minimize contrast.
- D. Preparation: Substrates shall be smooth, clean and free of dust, grease, finger prints, or other foreign matter. If necessary to obtain true color application, surface shall be "primed" before final color application is applied. Artwork shall be accurately reproduced with all edges straight and true and all finishes smooth and with no visible imperfections
 - 1. Surface preparation: Follow paint manufacturer's instructions for preparing surfaces before applying primers or graphics.
- E. Corrosion Protection: Coat concealed surfaces which will be in contact with concrete, stone, masonry, wood, or dissimilar metals, in exterior work and work to be built into exterior and below grade walls and decks, with a heavy coat of bituminous paint. Do not extend coating onto exposed surfaces.
- F. Colors and Surface Textures: For exposed sign material that requires selection of materials with integral or applied colors, surface textures or other characteristics related to appearance, provide custom color matches as selected by the Architect.
 - 1. Aluminum: Acrylic polyurethane paint as specified in this Section.

2.12 ALUMINUM FINISHES

- A. Aluminum: Finish designations prefixed by AA conform to the system established by the Aluminum Association for designating aluminum finishes.
 - 1. Class I, Clear Anodic Finish: AA-M12C22A41; Mechanical Finish: medium satin; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, clear coating 0.7 mil (18 μ m or thicker) complying with AAMA 611.
 - 2. Class I, Color Anodic Finish: AA-M12C22A42/A44; Mechanical Finish: non-specular as fabricated; Chemical Finish: etched, medium matte; Anodic Coating: Architectural Class I, integrally colored or electrodeposited color coating 0.7 mil (18 μ m or thicker) complying with AAMA 611.
 - a. Color: Match Architect's sample.
 - b. Color: As selected by Architect from the full range of industry colors and color densities.

2.13 STAINLESS-STEEL FINISHES

- A. Remove tool and die marks and stretch lines or blend into finish.
- B. Unless otherwise indicated, grind and polish surfaces to produce uniform finish indicated, free of cross scratches.
 - 1. Run grain of directionally textured finishes with long dimension of each piece, unless otherwise indicated in the Signage Detail Manual.

- C. Stainless Steel Finishes:
 - 1. Directional Satin Finish: No. 4
 - 2. Dull Satin Finish : No. 6
 - 3. Reflective, Directional Polish : No. 7
 - 4. Mirrorlike Reflective, Non Directional Polish : No. 8
- D. When polishing is completed, passivate and rinse surfaces. Remove embedded foreign matter and leave surfaces chemically clean.

2.14 PAINT MATERIALS

- A. Primer: High build, two-part polyamide epoxy.
- B. Opaque Finish Coat: Two-part, satin finish acrylic polyurethane paint. Provide products equal to Matthews Paint Company's "Low VOC Satin MAP - Acrylic Polyurethane," custom colors with gloss between 11 and 19 units @ 60 degrees. Apply a protective topcoat of Matthews Paint Company's MAP Low VOC Satin Clearcoat on all painted surfaces.
- C. Powder Coating: Polyester based powder coating type finish for sheet steel.
- D. Silkscreen: Use fast drying opaque enamel silkscreen ink.
 - 1. Colors and Sheen: High gloss color not limited to manufacturer's standard colors.
- E. Bituminous Paint: Cold-applied asphalt mastic complying with SSPC-Paint 12, except containing no asbestos fibers.

PART 3 - EXECUTION

3.1 PREPARATION

- A. General: Examine area, surfaces and conditions under which the work is to be installed. Notify the Contractor in writing of conditions detrimental to the proper and timely completion of the work. Starting work implies acceptable surfaces and conditions.

3.2 INSTALLATION

- A. General: Locate signs, graphics and displays where shown on Sign Location Plan, and Signage Detail Manual, attaching to substrates in accordance with manufacturer's instructions, unless otherwise indicated.
 - 1. Install signs level, plumb, and at heights indicated, with surfaces free from distortion and other defects in appearance.
 - 2. Interior Room Identification Signs: Unless otherwise specified in the Signage Detail Manual, install signs on walls adjacent to latch side of door where applicable. Where not indicated or possible, such as double doors, and not otherwise indicated, install signs on nearest adjacent walls. Locate to allow approach within 3 inches (75 mm) of sign without encountering protruding objects or standing within swing of door.
 - 3. Install signs so they do not protrude or obstruct according to the ADAAG.
 - 4. Before installation, verify that wall and sign surfaces are clean and free of materials or debris that would impair installation.
 - 5. Corrosion Protection: Coat concealed surfaces of exterior aluminum in contact with grout, concrete, masonry, wood, or dissimilar metals, with a heavy coat of bituminous paint.

- B. Surfaces under adhesive applied units shall be smooth, clean, and free of dust, grease, fingerprints, or other foreign matter. All adhesives required shall be used in accordance with recommendations made by the manufacturer of the material to be laminated or adhered. No adhesives that will fade, discolor, or delaminate because of ultraviolet light or heat shall be used. Adhesives shall not change the color of or deteriorate the materials to which they are to be applied. The adhesives shall be of a non-staining, non-yellowing quality. All visible joints shall be free from air bubbles and other defects.
- C. Mill joints to a tight, hairline fit. Form joints exposed to the weather to exclude water penetration.
- D. Mounting Methods:
1. Concealed Studs: Using a template, drill holes in substrate aligning with studs on back of sign. Remove loose debris from hole and substrate surface.
 - a. Masonry Substrates: Fill holes with adhesive. Leave recess space in hole for displaced adhesive. Place sign in position and push until flush to surface, embedding studs in holes. Temporarily support sign in position until adhesive fully sets.
 - b. Thin or Hollow Surfaces: Place sign in position and flush to surface, install washers and nuts on studs projecting through opposite side of surface, and tighten.
 2. Projecting Studs: Using a template, drill holes in substrate aligning with studs on back of sign. Remove loose debris from hole and substrate surface.
 - a. Masonry Substrates: Fill holes with adhesive. Leave recess space in hole for displaced adhesive. Place spacers on studs, place sign in position, and push until spacers are pinched between sign and substrate, embedding the stud ends in holes. Temporarily support sign in position until adhesive fully sets.
 - b. Thin or Hollow Surfaces: Place spacers on studs, place sign in position with spacers pinched between sign and substrate and install washers and nuts on stud ends projecting through opposite side of surface, and tighten.
 3. Through Fasteners: Drill holes in substrate using predrilled holes in sign as template. Countersink holes in sign if required. Place sign in position and flush to surface. Install through fasteners and tighten.
 4. Z clips and Brackets: Remove loose debris from substrate surface and install Z clip or bracket supports in position so that signage is correctly located and aligned.
 5. Adhesive: Clean bond-breaking materials from substrate surface and remove loose debris. Apply linear beads or spots of adhesive symmetrically to back of sign and of suitable quantity to support weight of sign after cure without slippage. Keep adhesive away from edges to prevent adhesive extrusion as sign is applied and to prevent visibility of cured adhesive at sign edges. Place sign in position, and push to engage adhesive. Temporarily support sign in position until adhesive fully sets.
 6. Two-Face Tape: Clean bond-breaking materials from substrate surface and remove loose debris. Apply tape strips symmetrically to back of sign and of suitable quantity to support weight of sign without slippage. Keep strips away from edges to prevent visibility at sign edges. Place sign in position, and push to engage tape adhesive.
- E. Wall-Mounted Panel Signs: Attach panel signs to wall surfaces using methods indicated below:
1. Flush-Mounting: Mount panel signs with backs in contact with wall surface.
 2. VHB Tape Mounting: Use VHB tape to mount signs to smooth, nonporous surfaces. Do not use this method for vinyl-covered or rough surfaces.
 3. Hook-and-Loop Tapes: Use hook-and-loop tapes to mount signs to smooth, nonporous surfaces.
 4. Magnetic Tape: Use magnetic tape to mount signs to smooth, nonporous surfaces.
 5. Silicone-Adhesive Mounting: Use liquid-silicone adhesive recommended in writing by sign manufacturer to attach signs to irregular, porous, or vinyl-covered surfaces. Use VHB tape where recommended in writing by sign manufacturer to hold sign in place until adhesive has fully cured.

6. Shim Plate Mounting: Provide 1/8-inch-(3-mm-) thick, concealed aluminum shim plates with predrilled and countersunk holes, at locations indicated, and where other mounting methods are not practicable. Attach plate with fasteners and anchors suitable for secure attachment to substrate. Attach panel signs to plate using method specified above.
 7. Mechanical Fasteners: Use tamperproof mechanical fasteners placed through predrilled holes. Attach signs with fasteners and anchors suitable for secure attachment to substrate as recommended in writing by sign manufacturer.
 8. Where panel signs are scheduled or indicated to be mounted on glass (As per the Signage Detail Manual and/or Signage Location Plan), provide opaque vinyl film on opposite side of glass to conceal mounting materials. Color of vinyl to be 3M Scotchcal 7725 "Pearl Grey" unless otherwise noted in the Signage Detail Manual.
- F. Dimensional Characters: Mount characters using standard fastening methods recommended in writing by manufacturer for character form, type of mounting, wall construction, and condition of exposure indicated. Provide heavy paper template to establish character spacing and to locate holes for fasteners.
1. Pin Mounting: A minimum of three threaded studs (1/8 inch diameter by 1/2 inch long minimum) welded to back or bottom of character with no distortions or discolorations to sign face. Appropriately increase size of studs according to weight of characters.
 2. Flush Mounting: Mount characters with backs in contact with wall surface.
 3. Projected Mounting: Mount characters at projection distance from wall surface indicated.
- G. Bracket-Mounted or Suspended Units: Use custom fabricated brackets, fittings and hardware as appropriate for mounting signs which project at right angles from supporting elements or suspended from structural members. Attach brackets and fittings with concealed fasteners and anchoring devices, unless otherwise indicated, to comply with the manufacturer's directions.
- H. Illuminated Panels, Displays & Signage:
1. Run wires into wall construction through conduit, seal ends. Use insulators as necessary for neon lighting wiring. For conditions at Fire-rated walls – coordinate appropriate installation with Contractor.
 2. Exposed-to-view wiring or conduit is not permitted in any form.
 3. Engage a licensed electrician to connect wiring to power source.

3.3 FIELD QUALITY CONTROL

- A. Within one week of scheduled completion of installation, prepare a punch list itemizing:
1. Uppercase letters instead of lowercase or vice-versa.
 2. Improper alignment of letters on sign panel.
 3. Improper alignment of signs.
 4. Chipped or scratched finishes.
 5. Unpainted exposed fasteners.
 6. Fabricator's label displayed.
 7. Improper cleaning of sign surfaces or surrounding wall areas.
 8. Damage to surrounding surfaces.
 9. Missing signs, graphics, displays.
 10. Incorrect install locations.
 11. Missing trim, corner guards, or other finishing.
 12. Any areas that require touch up paint.
- B. Repair or replace damaged units as required after Architect's final inspection.

3.4 PATCH AND ADJUST

- A. Patch existing surfaces damaged because of work under this section. Patch with same materials as existing. Fabricator shall paint and harmoniously blend and contour all repairs to match adjoining conditions so that they are not noticeable to view.
- B. Touch-up any mars or nicks in painted finishes of all signs and adjacent structures. Touch-up shall be the same paint product as used for this sign finish. Touch up areas should blend with surrounding areas and not be noticeable to view.
- C. Corrosion Protection: Coat concealed surfaces of aluminum that will be in contact with grout, concrete, masonry, wood, or dissimilar metals with a heavy coat of bituminous paint.
- D. Galvanized Surfaces: Clean field welds, bolted connections, and abraded areas and repair galvanizing to comply with ASTM A 780, Annex A2.

3.5 CLEANING AND PROTECTION

- A. At completion of installation, clean exposed surfaces in accordance with the manufacturer's instructions. All items shall be free of glue, fingerprints, dirt, grease, or any other imperfections.
- B. Evidence of installation work or damages incurred on other surfaces shall be cleaned or repaired prior to completion of work. Protect units from damage until acceptance by Owner.
- C. Remove all packing and construction materials from site. Leave premises clean, ready for work under other contracts or ready for use.
- D. Instruct the Owner in writing as to the correct operation and maintenance of all signs and sign components.
- E. Demonstrate to the Owner the operation of all access panels, and replacement of lamps, ballasts, and transformers as applicable.
- F. Furnish Owner with a pint of each paint and finish material used on sign.

3.6 SCHEDULE OF MOCKUPS

- A. Provide a mock-up (partial for large items; complete for smaller items) of each sign/display type requested at the fabrication facility for review. The requested mock-ups shall be coordinated with architect. Mock-ups once approved may be used towards final install count.
- B. When accepted, mock-up shall serve as the standard for materials, workmanship, and appearance for the work throughout the project.
- C. Provide work-in-progress sign elements reviews. Scheduled or unscheduled viewings at the Fabrication Facility may be initiated by the Owner's Representative as deemed necessary to ensure continued quality control and make any adjustments required during fabrication. Unsatisfactory items are to be corrected by the Fabricator as directed by the Owner or owner's representative.
- D. Provide full-sized mockups of the following:
 - 1. ID-01A – Room ID Sign
 - 2. ID-03A – Pictogram Room ID Sign
 - 3. ID-05 – Office ID Sign
 - 4. S-05 – Section ID Sign

5. ID-04 – Blade Pictogram
 6. R-08 – Caution sign
 7. D-04B Directional wall plaque
- E. Provide partial mockups of the following:
1. ID-08 – Elevator ID with Map, 1' x 1' area chosen by architect
 2. X-04 – Gate ID, one full size letter, may be re-used for final install if approved.
Or 1' wide portion of the system that shows the relationship & mounting methods of all components.

3.7 WARRANTY

- A. Submit to the Owner's Representative a 1-year written warranty (effective the date of final acceptance) covering all signs contractor will agree to repair or replace defective signs. Upon notification of such defective signs within the warranty period, make necessary repairs or replacement at the convenience of the Owner's Representative.
- B. Submit to the Owner's Representative a 1 year written warranty, warranting that the factory-applied finishes will not develop excessive fading or excessive non-uniformity of color or shade, and will not crack, peel, pit, corrode or otherwise fail because of defects in materials or workmanship within the following defined limits. Upon notification of such defects within the warranty period, make necessary repairs or replacement at the convenience of the owner's representative.

END OF SECTION

OPTION 1



PROPOSED CONDITIONS

1/2" FCO Letters/Logo. Letters/Logo Painted Atrium Health Teal.
Letter/Logo Stud Mounted Flush To Exterior Wall

Artwork And Dimensions Of Available Space Required Before Production

OPTION 2



PROPOSED CONDITIONS

Heat applied vinyl to exterior brick wall.

Artwork And Dimensions Of Available Space Required Before Production

Ballpark Logo Sign Dimensions are 14'x14'

SignArt

6225 Old Concord Road
Charlotte, NC 28213
P: 704.597.9801
F: 704.597.9808
www.signartsign.com

JOB ID
23669

CUSTOMER
Kannapolis Ballpark

LOCATION
201 Oak Ave
Kannapolis, NC

SALESPERSON
RL

ISSUE DATE
1/13/19

REVISIONS
1 02/03/19 JA
2
3
4
5
6

DESIGNER
JA

FILE PATH
K:\Kannapolis Ballpark\Team
Signage\23669 Priority 1 Signs

APPROVED FOR PRODUCTION

Approved As Drawn
Approved As Noted
Revise & Resubmit

Date: _____
Client: _____
Sales: _____
PM: _____

NOTICE

JOB ID

23851

CUSTOMER

Kannapolis Ballpark

LOCATION

201 Oak Ave
Kannapolis, NC

SALESPERSON

RL

ISSUE DATE

2/05/20

REVISIONS

- 1
- 2
- 3
- 4
- 5
- 6

DESIGNER

JA

FILE PATH

K\Kannapolis Ballpark\Team
Signage\Sponsorship Signage

APPROVED FOR PRODUCTION

- Approved As Drawn
- Approved As Noted
- Revise & Resubmit

Date: _____

Client: _____

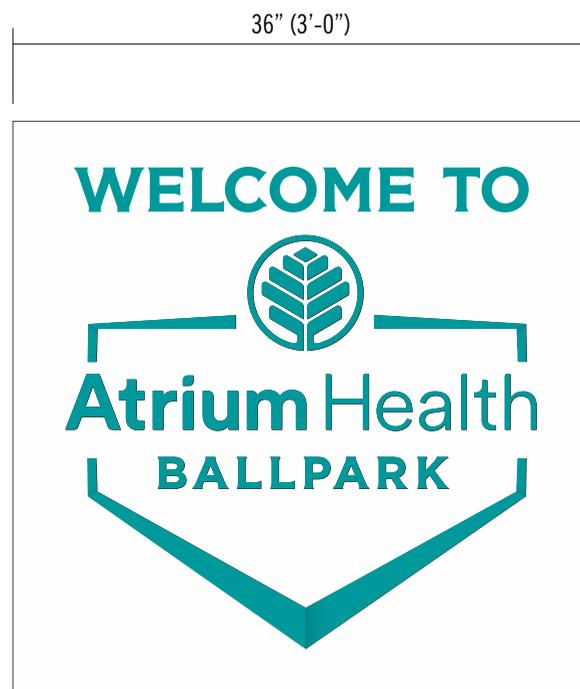
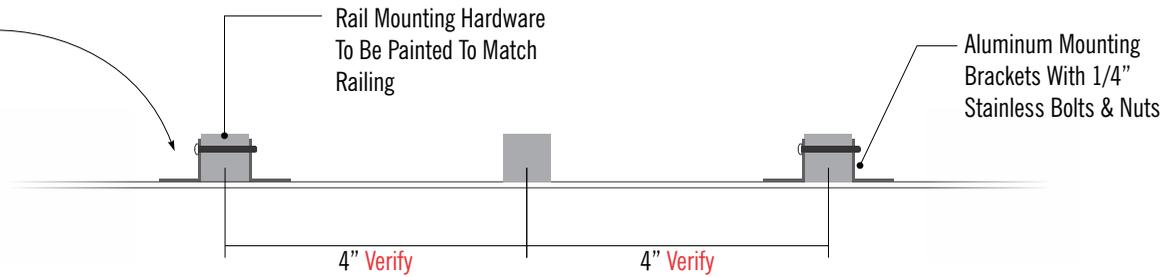
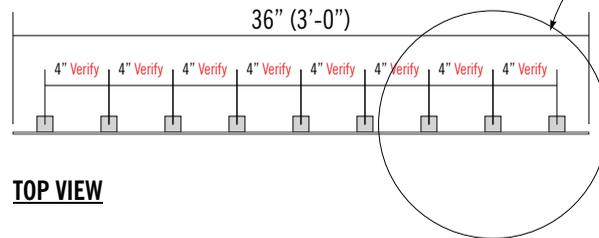
Sales: _____

PM: _____

NOTICE

ALL SIGNS MANUFACTURED
FOR 120v ELECTRICAL SERVICE
UNLESS OTHERWISE NOTED

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SignArt.



Manufacture and install one (1) S/F Wall Sign. Wall signs to be 1/8" aluminum with surface applied digitally printed vinyl to face. Aluminum sign to be attached to fence as shown.

SIGN C

Qty = One (1)

SCALE: 1" = 1'-0"

DRAWING NOTES:

- CHANNEL LETTERFORMS & LOGO**
 - 12" deep internally illuminated face-lit channel letterforms
 - Welded aluminum construction
 - White LED illumination, Temperature 6000k
 - Face to be 1/4" thick clear acrylic or polycarbonate with translucent color vinyl applied to 1st surface
 - Vinyl to be 3M 3630-246, matching PMS 321
 - Returns to be painted white
 - Trim cap to match P-2 (white)
 - Any seams in faces to be reviewed by architect in shop drawings
 - Mechanically attach flush to existing truss
- CHANNEL LETTERFORMS & LOGO**
 - 3" deep internally illuminated face-lit trimless channel letterforms
 - No trim cap, Basis of Design: Bitro Resno RS-AC-F2
 - Welded aluminum (or stainless steel) construction
 - White LED illumination, Temperature 6000k
 - Face to be white acrylic #7328
 - Returns to be painted P-2 (white)
 - Wiring to run through "wood-effect" cabinet
 - Mechanically attach flush to face of "wood-effect" cabinet
- ALUMINUM CABINET**
 - 16" deep welded aluminum cabinet
 - Internal stiffeners and tube supports as required
 - Faces to be minimum of 0.09" thick
 - All visible faces to receive dye-sub powder coated print graphics (Alto Folio or similar)
- PERFORATED PANELS**
 - McNichols # 17126163
 - 1/2" round, 11/16" offset pattern, 1/16" thick aluminum
 - Mechanically attached flush to truss prior to letter installation.

ADDITIONAL REQUIREMENTS:

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS & VERIFYING MOUNTING CONDITIONS

NO ADDITIONAL RACEWAYS ARE TO BE ADDED, WIRING IS TO BE CONCEALED TIGHTLY AGAINST OR CONCEALED WITHIN EXISTING HORIZONTAL TRUSS MEMBERS

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

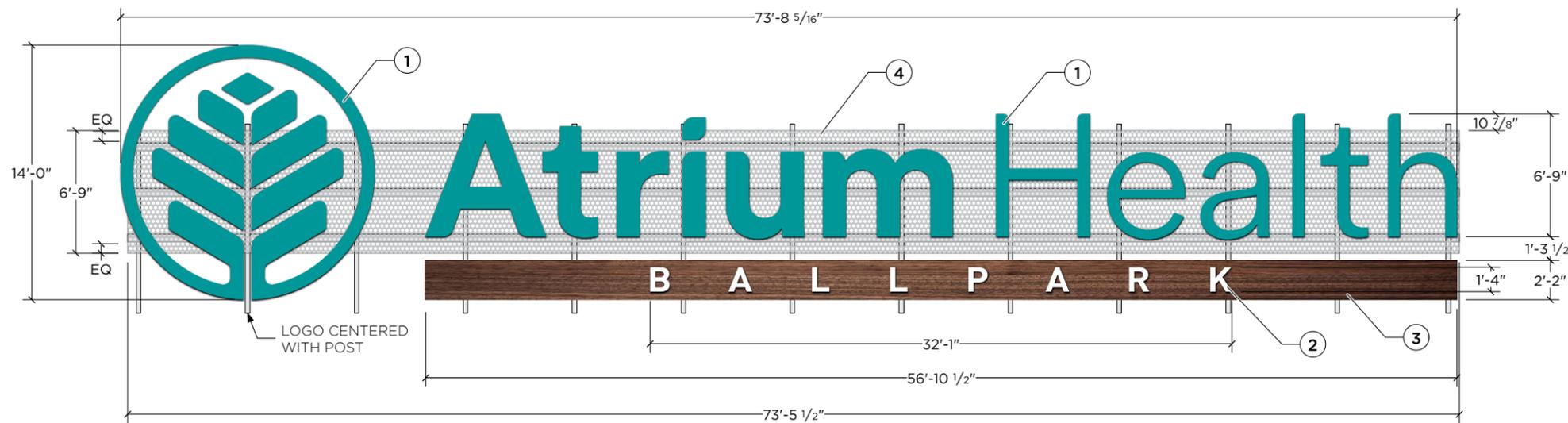
Project Number: 16.4347

Phase: BID DOCUMENTS

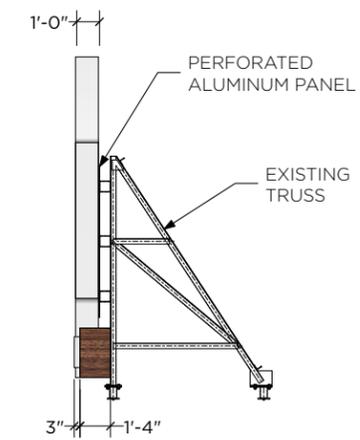
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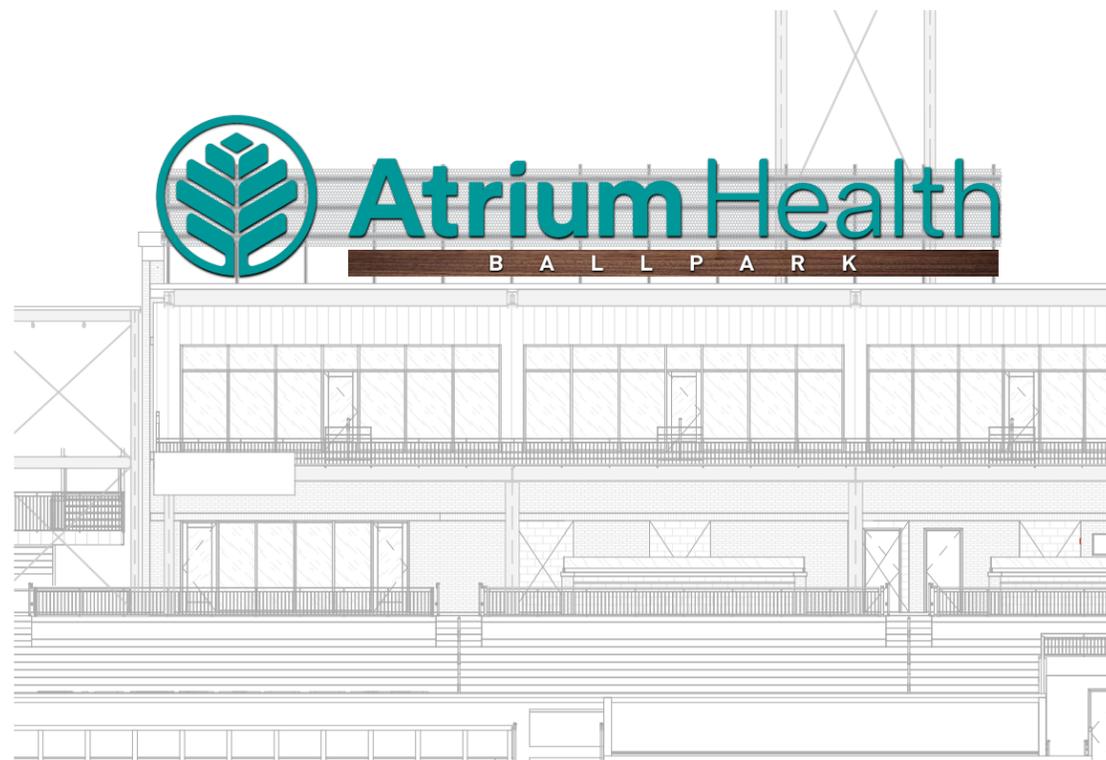
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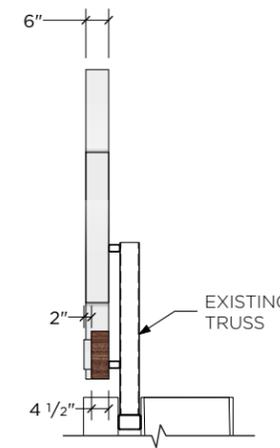
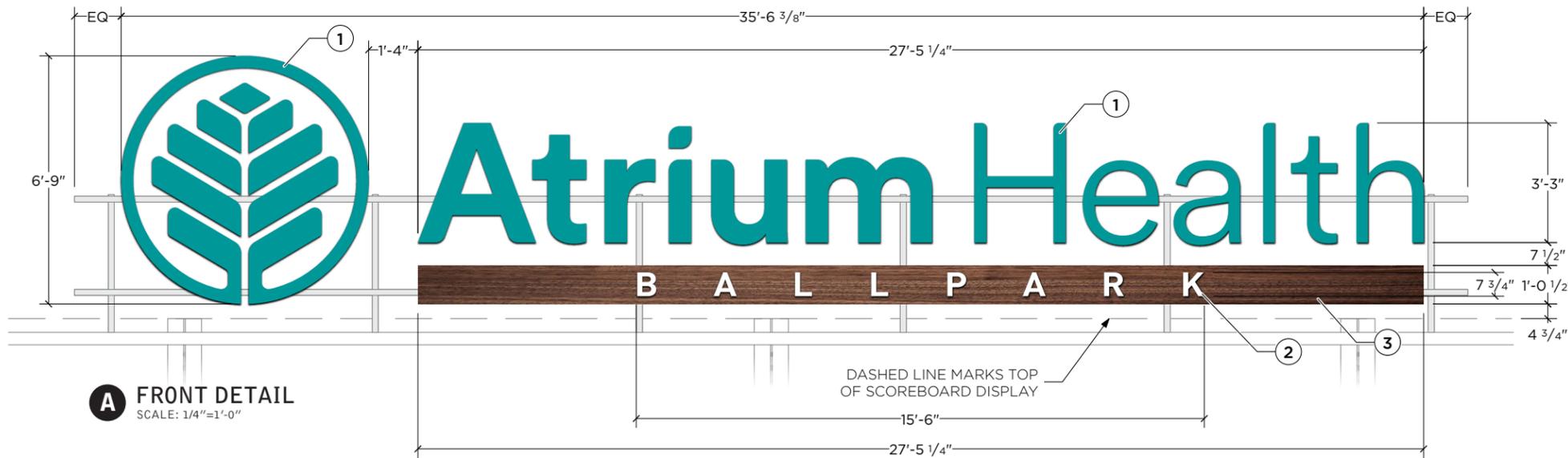
A FRONT DETAIL
SCALE: 1/8"=1'-0"



B SIDE DETAIL
SCALE: 1/8"=1'-0"



C CONTEXT ELEVATION
SCALE: 1/16"=1'-0"



POPULOUS®

4800 Main Street | Suite 300 | Kansas City, MO 64112
Main: (816) 221-1500 | Fax: (816) 221-1578

DRAWING NOTES:

- CHANNEL LETTERFORMS & LOGO**
 - 6" deep internally illuminated face-lit channel letterforms
 - Welded aluminum construction
 - White LED illumination, Temperature 6000k
 - Face to be 1/4" thick clear acrylic or polycarbonate with translucent color vinyl applied to 1st surface
 - Vinyl to be 3M 3630-246, matching PMS 321
 - Returns to be painted P-2 (white)
 - Trim cap to match P-2 (white)
 - Any seams in faces to be reviewed by architect in shop drawings
 - Mechanically attach flush to existing truss
- CHANNEL LETTERFORMS & LOGO**
 - 2" deep internally illuminated face-lit trimless channel letterforms
 - No trim cap, Basis of Design: Bitro Resno RS-AC-F2
 - Welded aluminum (or stainless steel) construction
 - White LED illumination, Temperature 6000k
 - Face to be white acrylic #7328
 - Returns to be painted P-2 (white)
 - Wiring to run through "wood-effect" cabinet
 - Mechanically attach flush to face of "wood-effect" cabinet
- ALUMINUM CABINET**
 - 4.5" deep welded aluminum cabinet
 - Internal stiffeners and tube supports as required
 - Faces to be minimum of 0.09" thick
 - All visible faces to receive dye-sub powder coated print graphics (Alto Folio or similar)
 - Mechanically attach flush to existing truss

ADDITIONAL REQUIREMENTS:

SIGN FABRICATOR IS RESPONSIBLE FOR PRODUCING FIELD DIMENSIONS & VERIFYING MOUNTING CONDITIONS

NO ADDITIONAL RACEWAYS ARE TO BE ADDED, WIRING IS TO BE CONCEALED TIGHTLY AGAINST OR CONCEALED WITHIN EXISTING HORIZONTAL TRUSS MEMBERS

COLOR SAMPLING WITH PRODUCTION LEDES AND VINYL IS REQUIRED FOR REVIEW

KANNAPOLIS MINOR LEAGUE BALLPARK SIGNAGE & WAYFINDING

Project Number: 16.4347

Phase: BID DOCUMENTS

Date: 01.31.20

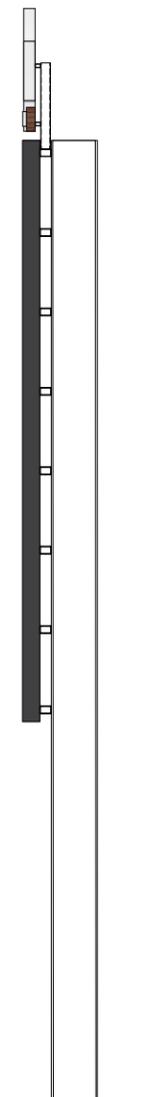
Drawing Name:

X-01B BUILDING ID SCOREBOARD

C CONTEXT ELEVATION
SCALE: 1/8"=1'-0"



D SIDE ELEVATION
SCALE: 1/8"=1'-0"



Sign Dimensions are
4'x3'



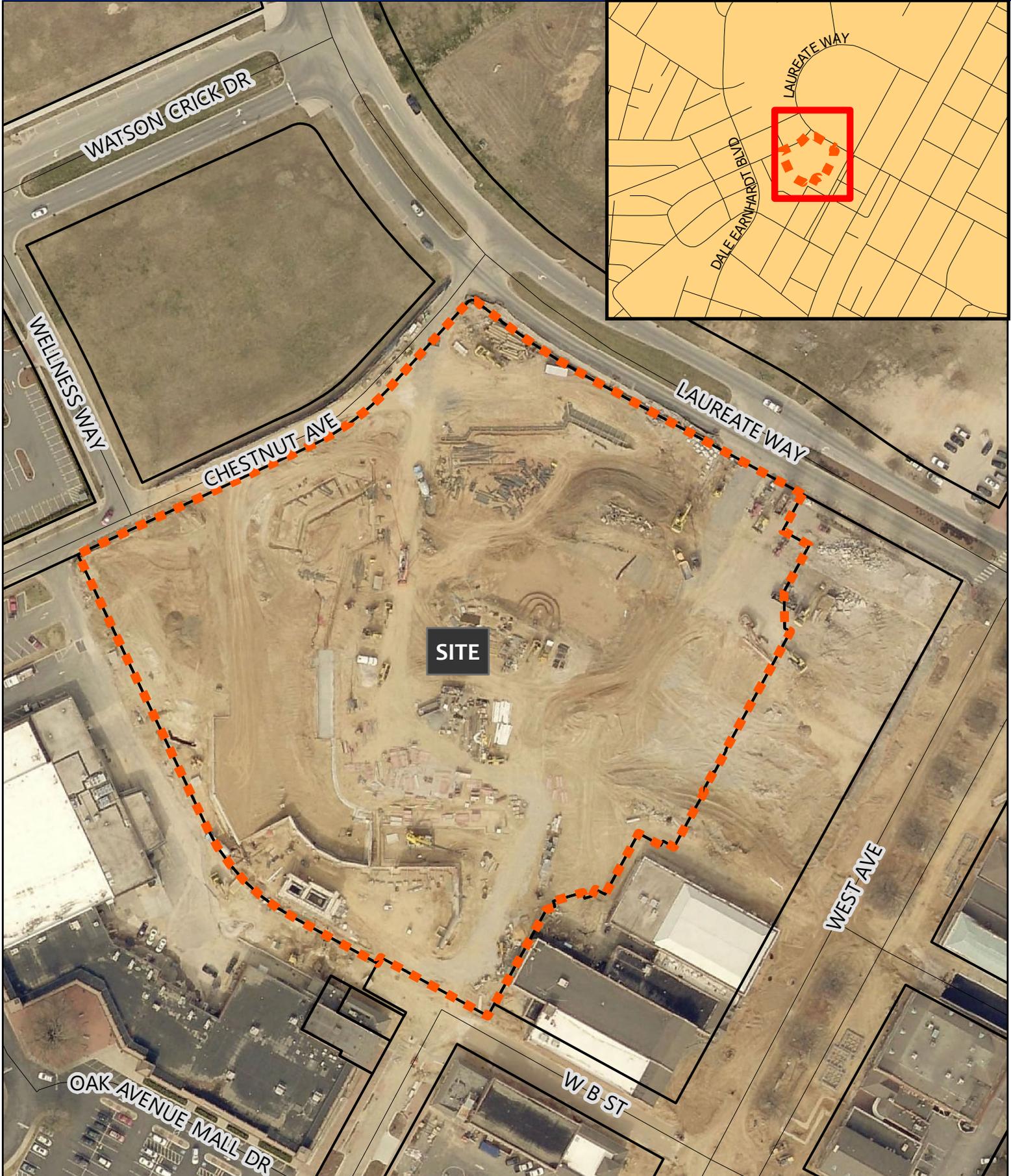
kinetic.
by windstream.

club



Vicinity Map

Case Number: BOA-2020-04
Applicant: Barton Malow
250 W B St.

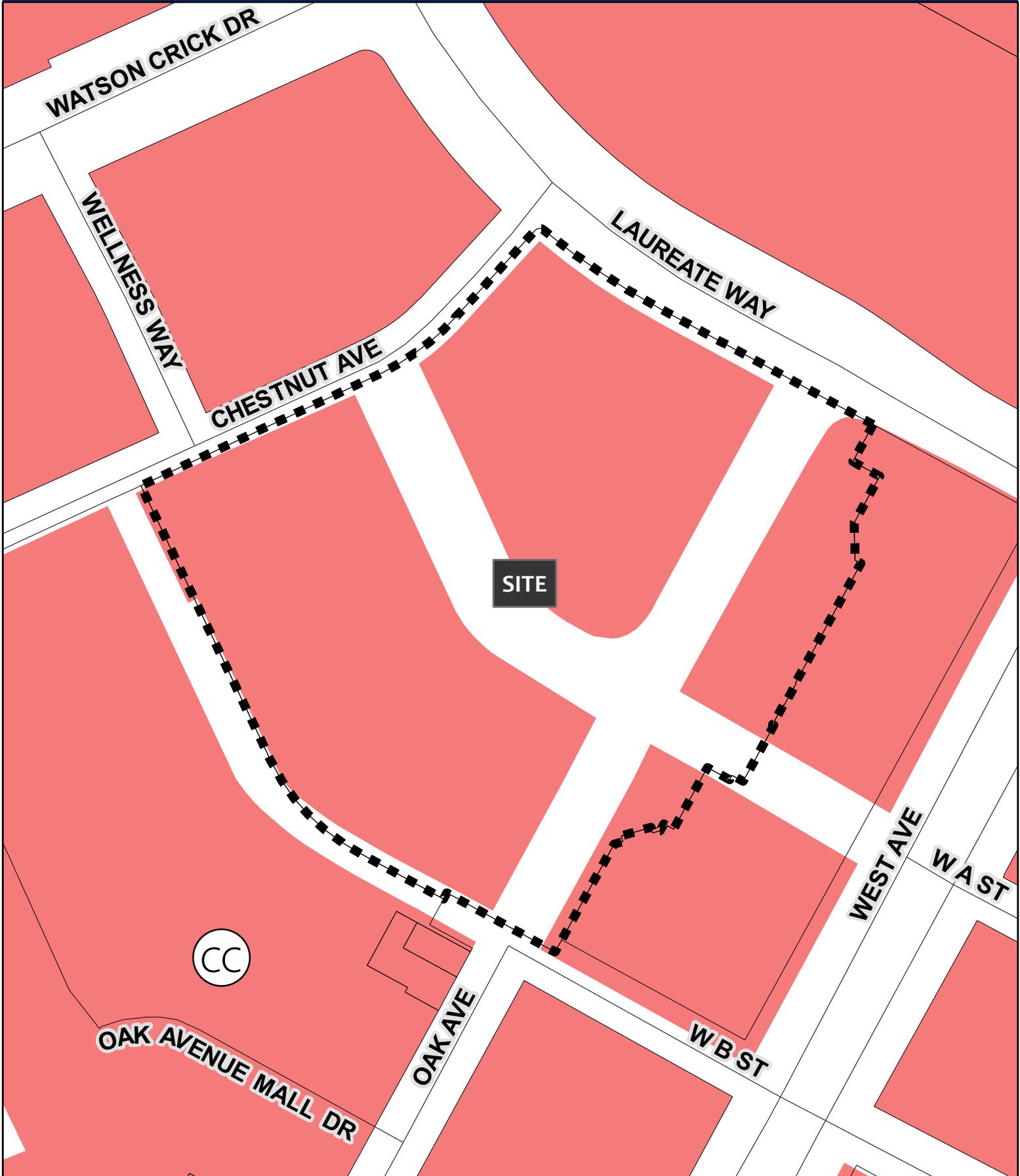




Kannapolis Current Zoning

Case Number: BOA-2020-04

Applicant: Barton Malow
250 W B St.



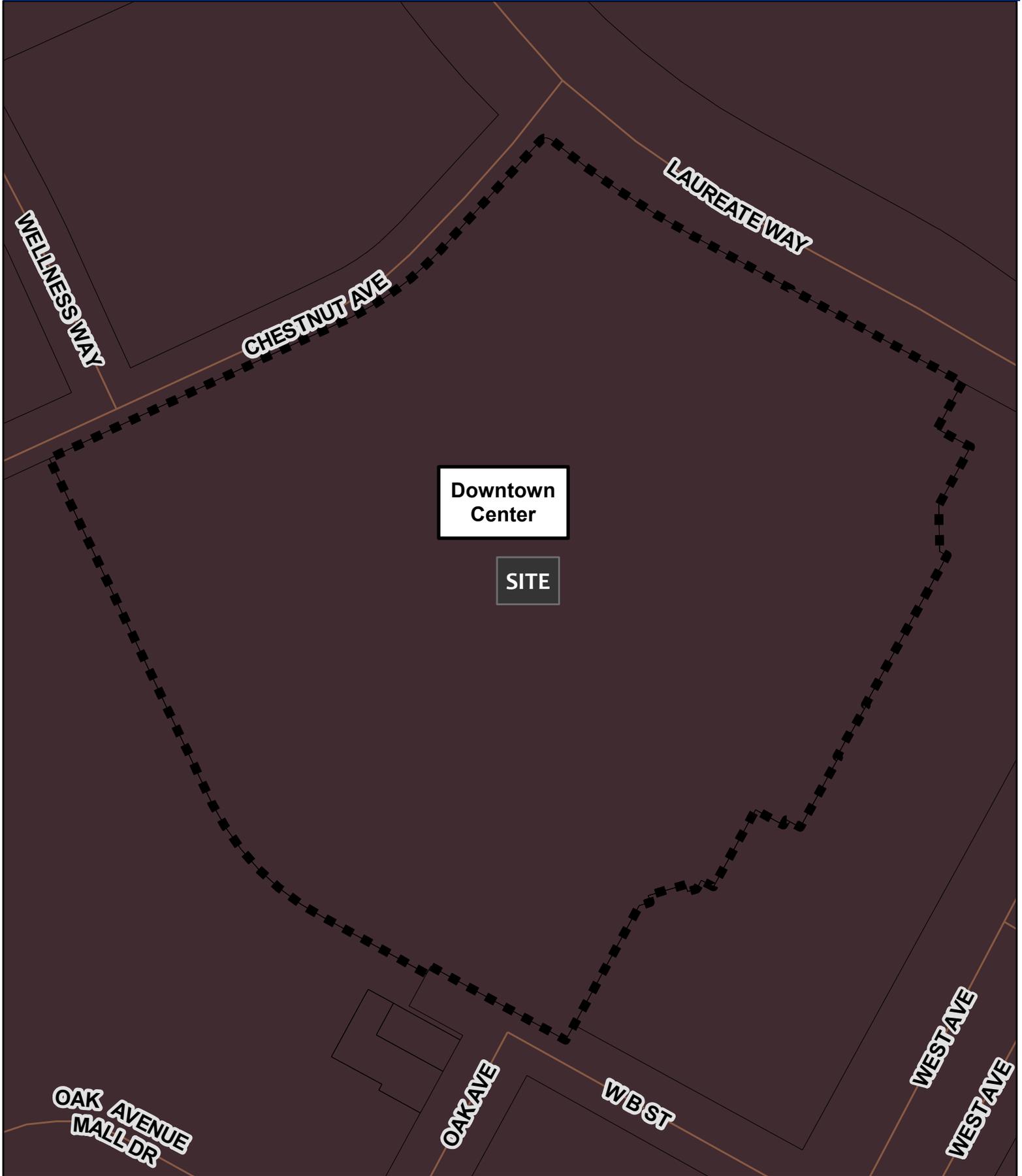


Kannapolis 2030 Future Land Use Map

Case Number: BOA-2020-04

Applicant: Barton Malow

250 W B St.



AcctName1	MailAddr1	MailCity	MailState	MailZipCod
ATLANTIC AMERICAN PROPERTIES INC	210 OAK AVE	KANNAPOLIS	NC	28081
ATLANTIC AMERICAN PROPERTIES	226 OAK AVE	KANNAPOLIS	NC	28081
CASTLE & COOKE NCRC PROP 3 LLC	210 OAK AVE	KANNAPOLIS	NC	28081
TEMERITY PARCEL F KANNAPOLIS LLC	1255 23RD ST NW STE 550	WASHINGTON	DC	20037
CASTLE & COOKE NC LLC	210 OAK AVE	KANNAPOLIS	NC	28081
BARTON MALOW ATTN: ANNA MARIA BASSI	1923 B SOUTH BLVD	CHARLOTTE	NC	28203



KANNAPOLIS
Planning

January 28, 2020

Dear Property Owner,

Please be advised that the City of Kannapolis Board of Adjustment will conduct a quasi-judicial public hearing at 6:00 PM on Tuesday February 18, 2020 at City Hall, located at 401 Laureate Way, for the following case:

BOA-2020-04 – Sports and Entertainment Venue Comprehensive Sign Package

This public hearing is to consider a request for a Comprehensive Sign Package which would allow the applicant to provide innovative, creative, and effective signage by providing an alternative to the general permanent signage criteria in Article 12 of the Unified Development Ordinance (UDO). The subject property is located at 250 W B Street, is approximately 2.171 +/- acres, and is more specifically identified as Cabarrus County Parcel Identification Number 5614-60-0009. The property is zoned Center City (CC). **(Please see reverse side of this letter for vicinity map the location of this property.)**

As an adjacent property owner, you are being notified of this public hearing in accordance with the requirements of the Kannapolis Unified Development Ordinance (UDO); and are invited to attend the public hearing and present testimony, should you desire, to the Board of Adjustment.

Section 12.6 of the UDO states “*As an option to the permanent signage standards set forth in this Chapter, freestanding structures in excess of twenty-five thousand (25,000) square feet and/or master planned developments in excess of 10 acres shall be allowed to submit an application for a Comprehensive Sign Package. All Comprehensive Sign Packages shall be reviewed as a Conditional Use Permit.*”

Should you have any questions about the public hearing or request, please do not hesitate to call the Planning Department at 704.920.4350

Sincerely,



Ryan Lipp
Senior Planner

Enclosure

The meeting is accessible to people with disabilities. To request special accommodation in advance, contact the City's ADA Coordinator at 704-920.4302.



Conditional Use Permit

Case Number: BOA-2020-04

Applicant: Barton Malow
250 W B St.




KANNAPOLIS
BOARD OF
ADJUSTMENT
PUBLIC HEARING
INFORMATION
CALL 704-920-4350
CASE #BOA - 2020 - 04

